

PROPOSED RENOVATION TO:
15 HOOPER AVENUE NEW JERSEY
TOMS RIVER

OCEAN COUNTY PROBATION LOBBY

2019

PLAN REVIEW DATA

APPLICABLE CODES AND STANDARDS

UNIFORM CONSTRUCTION CODE STATE OF NEW JERSEY, LATEST EDITION AND ALL OF ITS SUBCODES AND AMENDMENTS (NJ REHAB SUB CODE)
 NEW JERSEY REHABILITATION SUBCODE 9-23-6
 INTERNATIONAL BUILDING CODE / 2015 NJ EDITION
 INTERNATIONAL RESIDENTIAL CODE / 2015 NJ EDITION
 INTERNATIONAL MECHANICAL CODE / 2015
 INTERNATIONAL FUEL GAS CODE / 2015
 ASHRAE 90.1 - 2013 (COMMERCIAL)
 INTERNATIONAL ENERGY CONSERVATION CODE - NJ ED. 2015 (RESIDENTIAL)
 NATIONAL STANDARD PLUMBING CODE / 2015
 NATIONAL ELECTRIC CODE / 2014
 ANSI A117-2009
 WFCM (WOOD FRAMED CONSTRUCTION) HIGH WIND AREAS FOR ONE & TWO FAMILY DWELLINGS

OCCUPANCY CLASSIFICATION

USE GROUP A-3 (EXISTING - NO CHANGE)
 OCCUPANT LOAD EXISTING - NO CHANGE

CONSTRUCTION CLASSIFICATION

PER TABLE (904.3 & 904.4) SECTION (906.2)

TYPE 2B (EXISTING - NO CHANGE)
 ALLOWANCE AREA 29,600 SF (EXISTING - NO CHANGE)
 ALLOWANCE HEIGHT 7'6" - 0" / 2 STORIES (EXISTING - NO CHANGE)

BUILDING ELEMENT FIRE RESISTANCE RATINGS

PER TABLE (601) SECTION (602)

- STRUCTURAL FRAME (s) (INCLUDING COLUMNS, GIRDERS, TRUSSES) 0 HOURS
- BEARING WALLS EXTERIOR (t) INTERIOR 0 HOURS
- NON BEARING WALLS & PARTITIONS (TABLE 602) EXTERIOR INTERIOR (s) 0 HOURS
- FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS) 0 HOURS
- ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS) 0 HOURS
- FIRE WALLS (706.4) 3 HOURS
- FIRE BARRIERS (707.3.10) 2 HOURS
- FIRE PARTITIONS (709.3) 1 HOUR
- SHAFTS (713.4) 2 HOUR
- EXIT ACCESS CORRIDORS (1020) 0 HOUR W/ SPRINKLER

EXISTING TO REMAIN

BUILDING CHARACTERISTICS

NUMBER OF STORIES (EXISTING - NO CHANGE)
 HEIGHT OF STRUCTURE (EXISTING - NO CHANGE)
 TOTAL AREA (EXISTING - NO CHANGE)

BUILDING DESIGN LOADS

PER CHAPTER 16

FLOORS 100 PSF LL
 ROOF 30 PSF LL
 GROUND SNOW LOADS 30 PSF
 BASIC WIND SPEED 120 MPH

EXISTING - NO CHANGE

INTERIOR FINISH NOTES

INTERIOR FINISHES SHALL COMPLY W/ SECTION (909.11) & SHALL HAVE A FLAME SPREAD RATING AS OUTLINED BELOW (BASED ON SPRINKLERED BUILDING):

A-3 REQ'D VERT. EXITS AND PASSAGEWAYS
 EXIT ACCESS CORRIDORS
 ROOMS AND ENCLOSED SPACES

B FLAME SPREAD 24-75
 C FLAME SPREAD 76-200

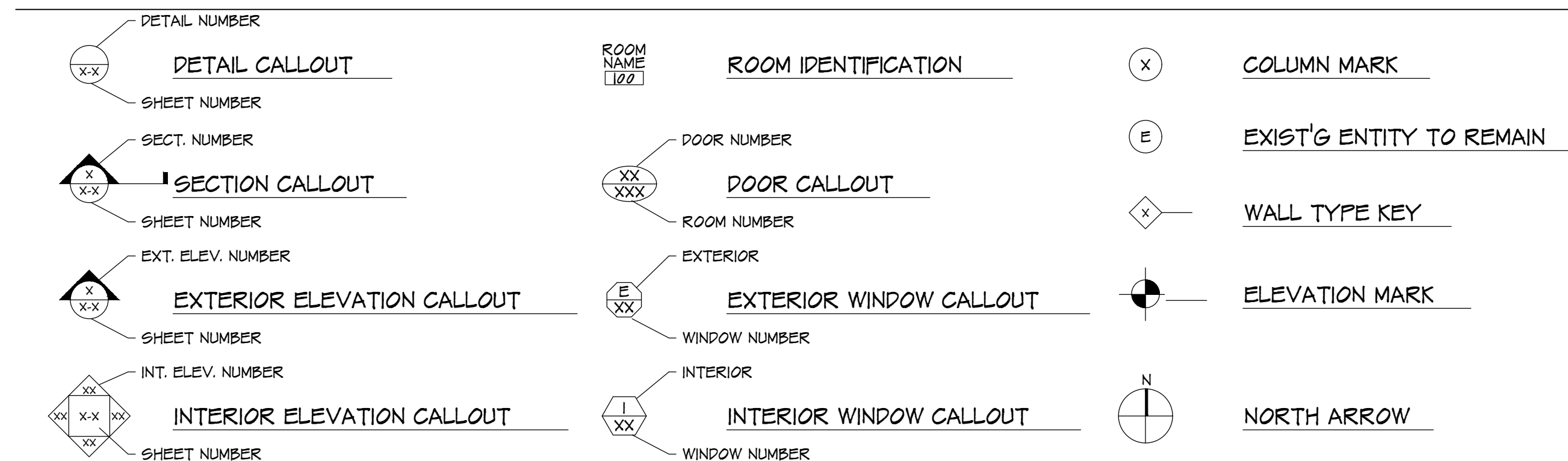
SMOKE DEVELOPES 0-450
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 SMOKE DEVELOPES 0-450

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR	A.F.F.	FIRE EXTINGUISHER	F.E.	MASONRY	MAS.	SAFETY	SFTY.
ACOUSTICAL CEILING TILE	A.C.T.	FLOOR	FL./FLR.	MASONRY OPENING	M.O.	SCHEDULE	SCHED.
AIR CONDITIONING	A/C	FLOOR DRAIN	F.D.	MAXIMUM	MAX.	SECTION	SECT.
ALTERNATE	ALT.	FLOOR SINK	F.S.	MECHANICAL	MECH.	SOLID CORE	S.C.
ALUMINUM	ALUM.	FLUORESCENT	FLOR.	MEMBRANE	MEMB.	SHEET	SHT.
APPROVED	APPD./APP'VD	FOOTING	FTG.	MINIMUM/MINUTE	MIN.	SIMILAR	SIM.
AT	@	FURNISH	FURN.	MISCELLANEOUS	MISC.	SPECIFICATIONS	SPEC.
		FURRING	FURR.			SQUARE	SQ.
BLOCK	BLK.			NORTH	N	SQUARE FOOT	S.F.
BLOCKING	BLKG.	GAUGE	GA	NOMINAL	NOM.	STAINLESS STEEL	S.S.
BOARD	BD.	GALVANIZED	GALV.	NOT IN CONTRACT	N.I.C.	STEEL	STL.
BUILDING	BLDG.	GENERAL GENERATOR	GEN.	NOT TO SCALE	N.T.S.	STORAGE	STOR.
		GENERAL CONTRACTOR(OR)	G.C.	NUMBER	NO.	STORAGE CLOSET	ST. CL.
		GLASS, GLAZING	GL				
CARPET	CPT.	GRADE	GR.	OFFICE	OFF.	TOTAL LOAD	TL
CEILING	CLG.	GYP. WALLBOARD	G.W.B./GYP. BD.	ON CENTER	O.C.	TOP OF DECK	T.O.D.
CENTERLINE	C.	GROUND FAULT INTERRUPTER	G.F.I.	OPENING	OPNG.	TOP OF FOOTING	T.O.F.
CERAMIC	CER.			OUTSIDE DIAMETER (DIMENSION)	O.D.	TOP OF MASONRY	T.O.M.
CERAMIC TILE	C.T.	HARDWARE	HWD./HWD'R.	OVERHEAD	O.H.	TOP OF PIER	T.O.P.
COATS	C.TS.	HARDWOOD	H.W.			TOP OF SLAB	T.O.S.
COLD WATER	C.W.	HEATING/VENTILATING/AIR	H.V.A.C.	PAINT	PT.	TOP OF STEEL	T.O.ST.
COLUMN	COL.	CONDITIONING	COND.	PAINTED	PTD.	TOP OF WALL	T.O.W.
CONCRETE	CONC.	HEIGHT	HT.	PARTITION	PART'N.	TYPICAL	TYP.
CONCRETE MASONRY UNIT	C.M.U.	HIGH POINT	H.P.	PARALLEL STRAND LUMBER	P.S.L.	TREAD	T
CONTINUOUS/CONTINUE	CONT.	HOLLOW CORE	H.C.	PLASTER	PLAS.		
CONTRACTOR	CONTR.	HOLLOW METAL	H.M.	PLASTIC LAMINATE	PLAM.	UNDERWRITERS LABORATORIES	UL
CONTROL JOINT	C.J.	HOLLOW METAL FRAME	H.M.F.	PLATE	PL.	UNFINISHED	UNF.
CLEAN OUT	C.O.	HOSE BIB	H.B.	PLUMBING	PLBG.	UNIFORM BUILDING CODE	U.B.C.
		HOT WATER	H.W.	POLYVINYL CHLORIDE	P.V.C.		
DEAD LOAD	DL	HOUR	HR.	POUNDS PER CUBIC FOOT	P.C.F.	VINYL COMPOSITION TILE	V.C.T.
DEMOLISH, DEMOLITION	DEMO.	INSULATION	INSUL.	POUNDS PER LINEAL FOOT	P.L.F.	VINYL WALL COVERING	V.W.C.
DIAMETER	DIA./Ø	INTERIOR	INT.	POUNDS PER SQUARE FOOT	P.S.F.	VERTICAL	VERT.
DIFFUSER	DIFF.	INVERT	INV.	PREFABRICATED	P.F.A.B.	VESTIBULE	VEST.
DIMENSION	DIM.					VERIFY IN FIELD	V.I.F.
DOWN	DN.	JOINT	JT.	QUARRY TILE	Q.T.	WATER CLOSET	W.C.
PITTO	"ds"					WATERPROOF, WEATHERPROOF	W.P.
		EQUAL	EQ.	RADIUS	RAD.	WELDED WIRE FABRIC	W.W.F.
EQUIPMENT	EQUIP.	EXISTING	EXIST./EXIST'G	REFERENCE	REF.	WELDED WIRE MESH	W.W.M.
EXTERIOR	EXT.	LAMINATE(D)	LAM.	REINFORCE, REINFORCING	REINF.	WIRE GLASS	W.G.
		LAMINATED VENEER LUMBER	L.V.L.	REQUIRED	REQ./REQ'D.	WITH	W/
FLOOR CLEAN OUT	F.C.O.	LAVATORY	LAV.	ROOF DRAIN	R.D.	WITHOUT	W/O
FEET, FOOT	FT.	LIVE LOAD	LL	RISER	R.	WOOD	WD.
FINISH	FIN.	LOUVER	LVR./LOUV.	ROOF SCUPPER	R.S.		
FINISH FLOOR	F.F.	MAINTENANCE/MAINTAIN	MFR./MANUF.	ROUGH OPENING	R.O.		

NOTE: THIS LIST REPRESENTS ABBREVIATIONS THAT MAY OR MAY NOT APPEAR IN THESE DOCUMENTS. CONTACT YEZZI ASSOCIATES FOR ANY CLARIFICATIONS REGARDING THE ABBREVIATIONS

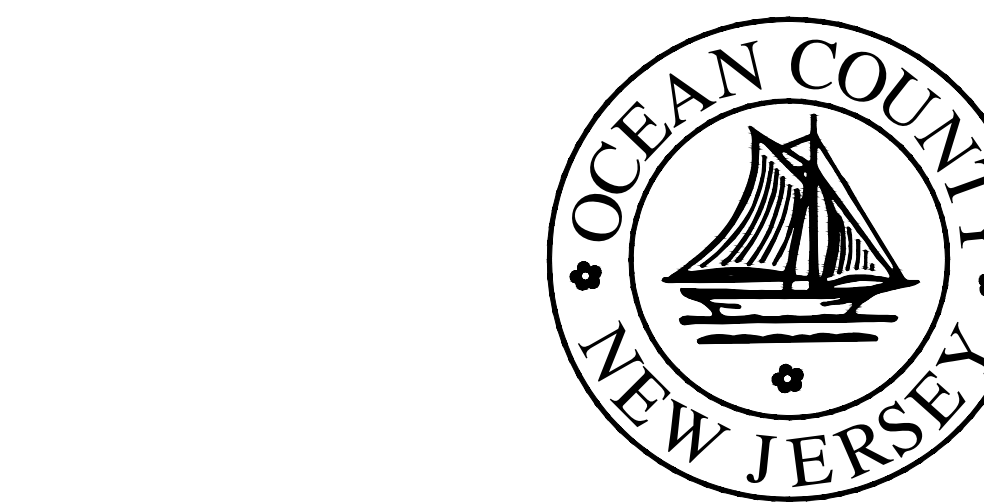
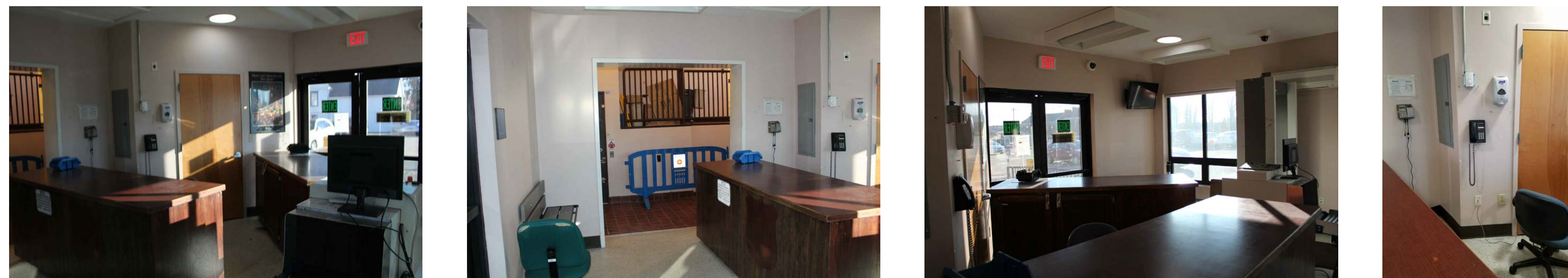
SYMBOL KEY



NOTES

- DO NOT SCALE DRAWINGS
- FIELD CHECK ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- WHERE THERE MAY BE A CONFLICT BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECTS WHO WILL MAKE THE NECESSARY REVISIONS.
- ALL EXISTING WORK TO REMAIN MUST BE PROTECTED. ANY SUCH WORK DAMAGED IN THE COURSE OF CONSTRUCTION WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL ITEMS TO BE REMOVED AND REUSED THAT ARE DAMAGED AND NOT REUSABLE SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- AT THE END OF EACH WORKING DAY THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION RUBBLE FROM THE SITE.
- ALL ITEMS MARKED ON THE DRAWINGS TO BE REMOVED SHALL ALSO MEAN PATCH TO MATCH SURROUNDING CONDITIONS.
- SINGLE PRIME CONTRACTOR (INCLUDES ALL SUB-CONTRACTORS).
- ALL EXISTING UTILITIES IN CONFLICT WITH THE WORK SHALL BE TURNED OFF BY THE CONTRACTOR / UTILITY COMPANIES PRIOR TO START OF DEMOLITION / CONSTRUCTION.

EXISTING CONDITIONS PHOTOGRAPHS



OCEAN COUNTY BOARD OF CHOSEN FREEHOLDERS

- VIRGINIA E. HAINES
 JOHN P. KELLY
 GERRY P. LITTLE
 GARY QUINN
 JOSEPH H. VICARI
- FREEHOLDER DIRECTOR
 FREEHOLDER DEPUTY DIRECTOR
 FREEHOLDER
 FREEHOLDER
 FREEHOLDER
- CARL W. BLOCK
 MICHAEL J. FIURE
 JENNIFER L. BOWENS
- ADMINISTRATOR
 ASSISTANT ADMINISTRATOR
 PURCHASING AGENT
- JOSEPH J. MEYERS
 SUPERINTENDENT OF BUILDINGS & GROUNDS

PROJECT DURATION AND HOURS OF WORK

THE PROJECT DURATION SHALL BE 30 DAYS FROM ISSUANCE OF THE BUILDING PERMIT.
 THE HOURS OF WORK SHALL BE MONDAY THROUGH FRIDAY, 7:00am - 5:00pm. THE CONTRACTOR WILL BE PERMITTED TO WORK ON SATURDAY PROVIDED THE COUNTY IS NOTIFIED 48 HOURS IN ADVANCE.

INDEX OF DRAWINGS

ARCHITECTURAL	CODE	PROJECT DATA & CODE RESEARCH
1	A-1	FLOOR PLANS, SECTION & DETAILS

SCOPE OF WORK

- THE PROPOSED SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO:
- REMOVE PORTION OF EXISTING WALL AT CLOSET
 - SALVAGE DOOR AND FRAME FOR RE-USE
 - CONSTRUCT NEW PARTITION, MODIFY & RE-INSTALL EXISTING DOOR
 - PROVIDE AND INSTALL NEW ALUM. STOREFRONT SYSTEM
 - RELOCATE EXISTING MINI-SPLIT HVAC UNIT
 - REMOVE AND RE-INSTALL EXISTING CUFF BENCH
 - RELOCATE EXISTING X-RAY AND METAL DETECTOR
 - PATCH AND REPAIR EXISTING CEILING AND FLOORING
 - PAINT CEILING

REFER TO DRAWINGS FOR A COMPLETE SCOPE OF WORK.

AERIAL VIEW



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 Architect No. 8755
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 Architect No. 3022377

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 Architect No. 2203807000
 Architect No. 73072

PROPOSED RENOVATION TO:
**OCEAN COUNTY
 PROBATION LOBBY**
 15 HOOPER AVENUE
 TOMS RIVER
 NEW JERSEY

PROJECT
 Project Issue Date
 MAY 31, 2019
 Revisions By Date

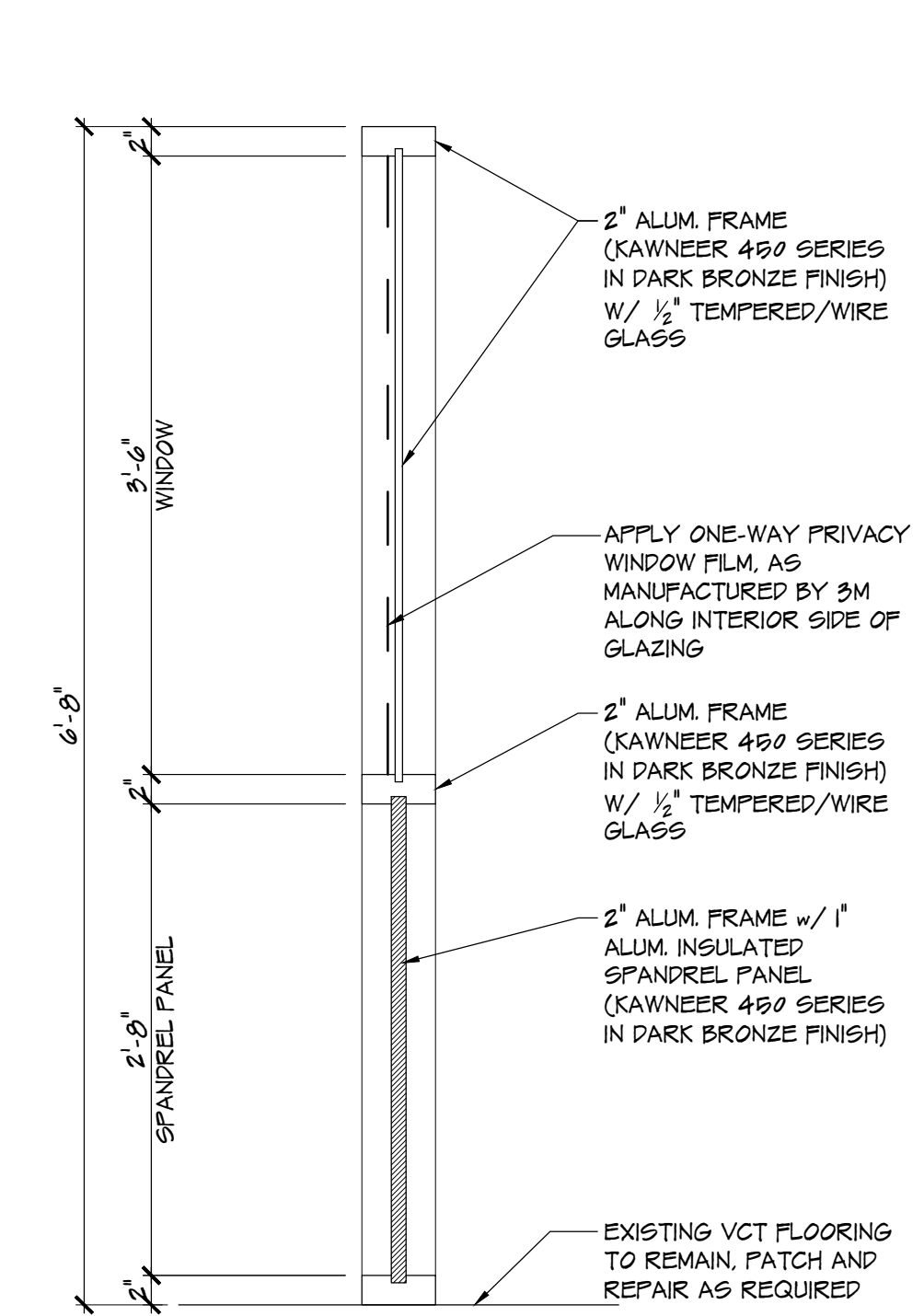
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 & CODE RESEARCH**

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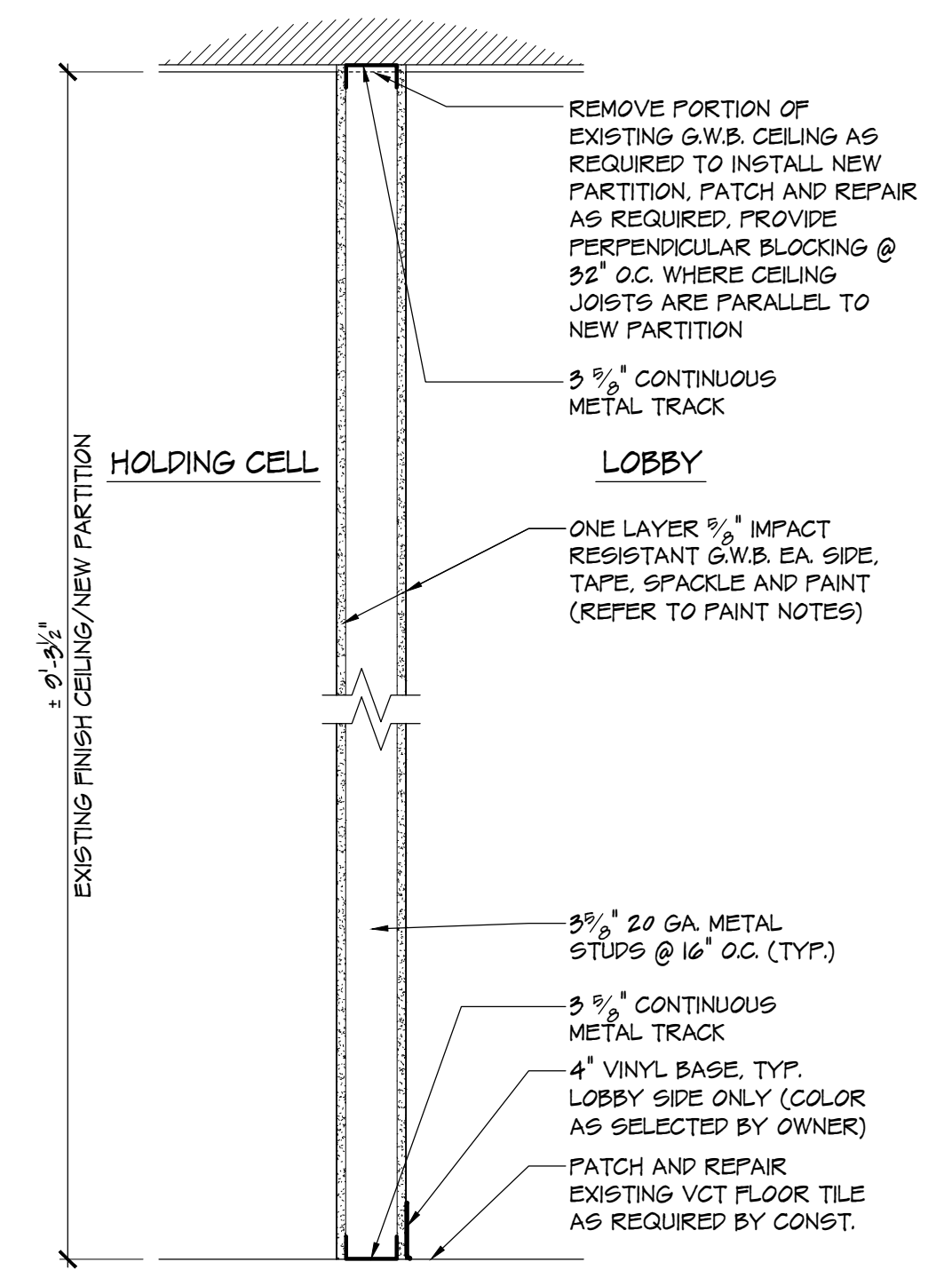
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 MPY

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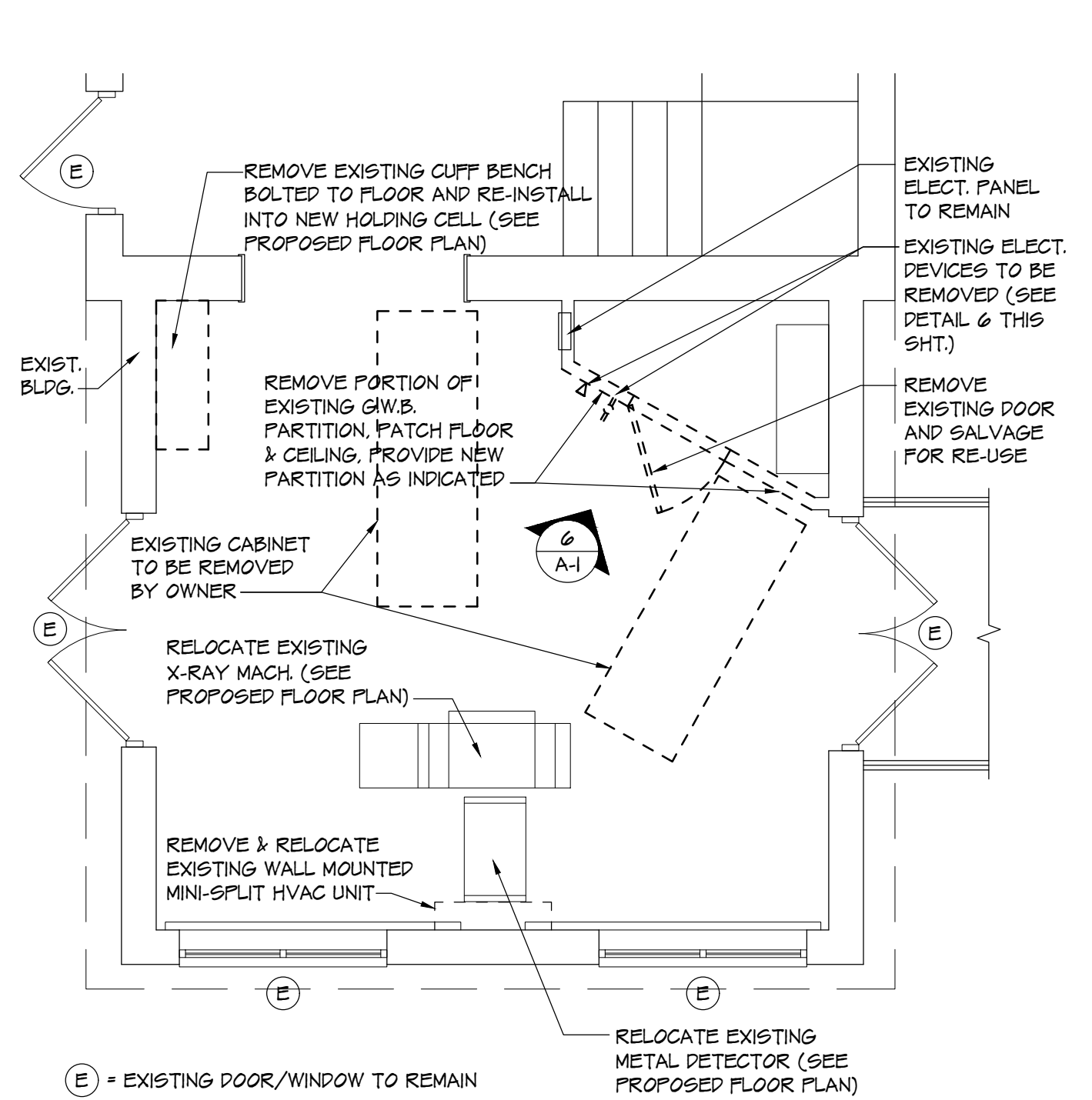
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 YC10144



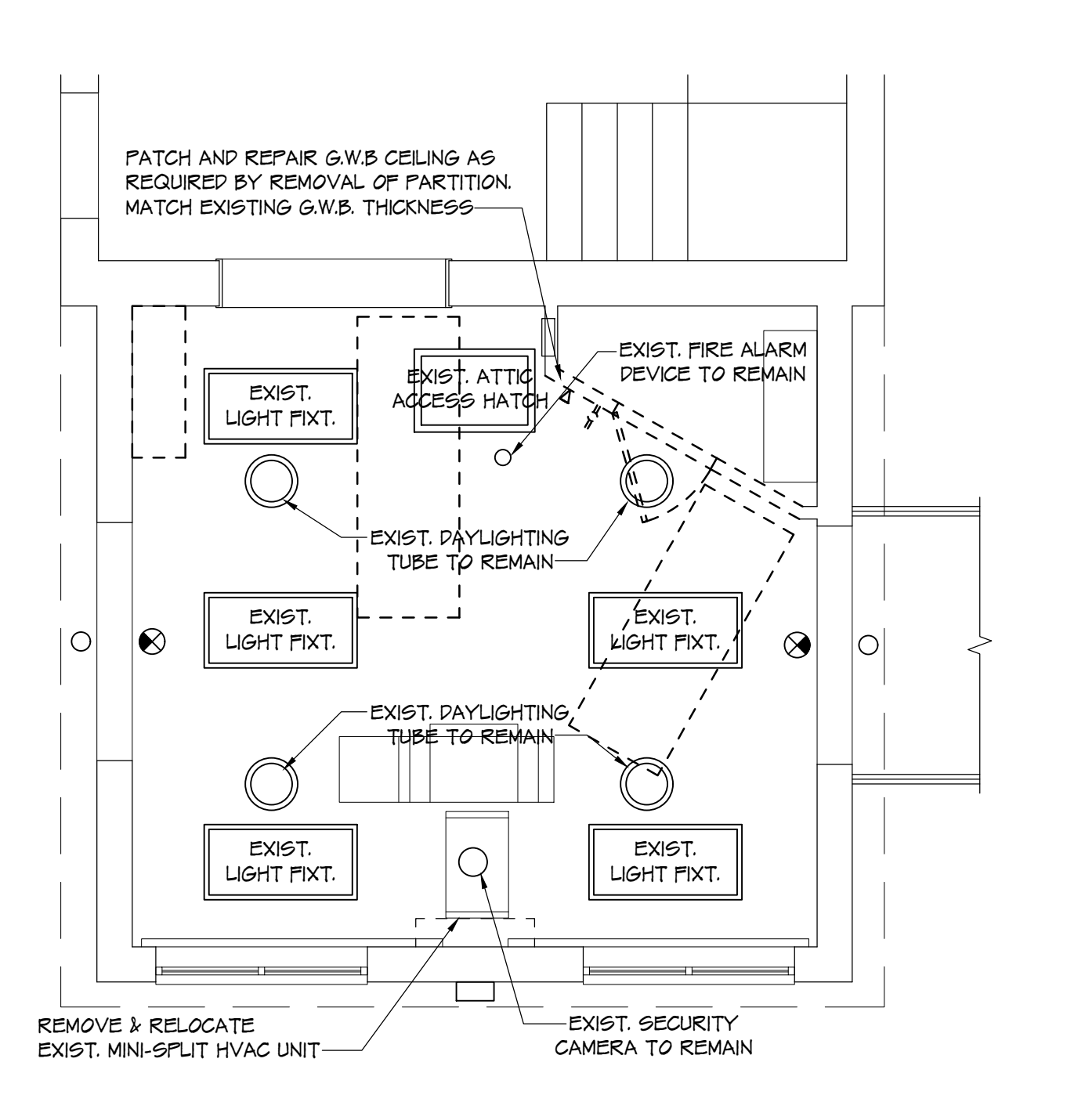
9 WALL SECTION
SCALE: 1" = 1'-0"



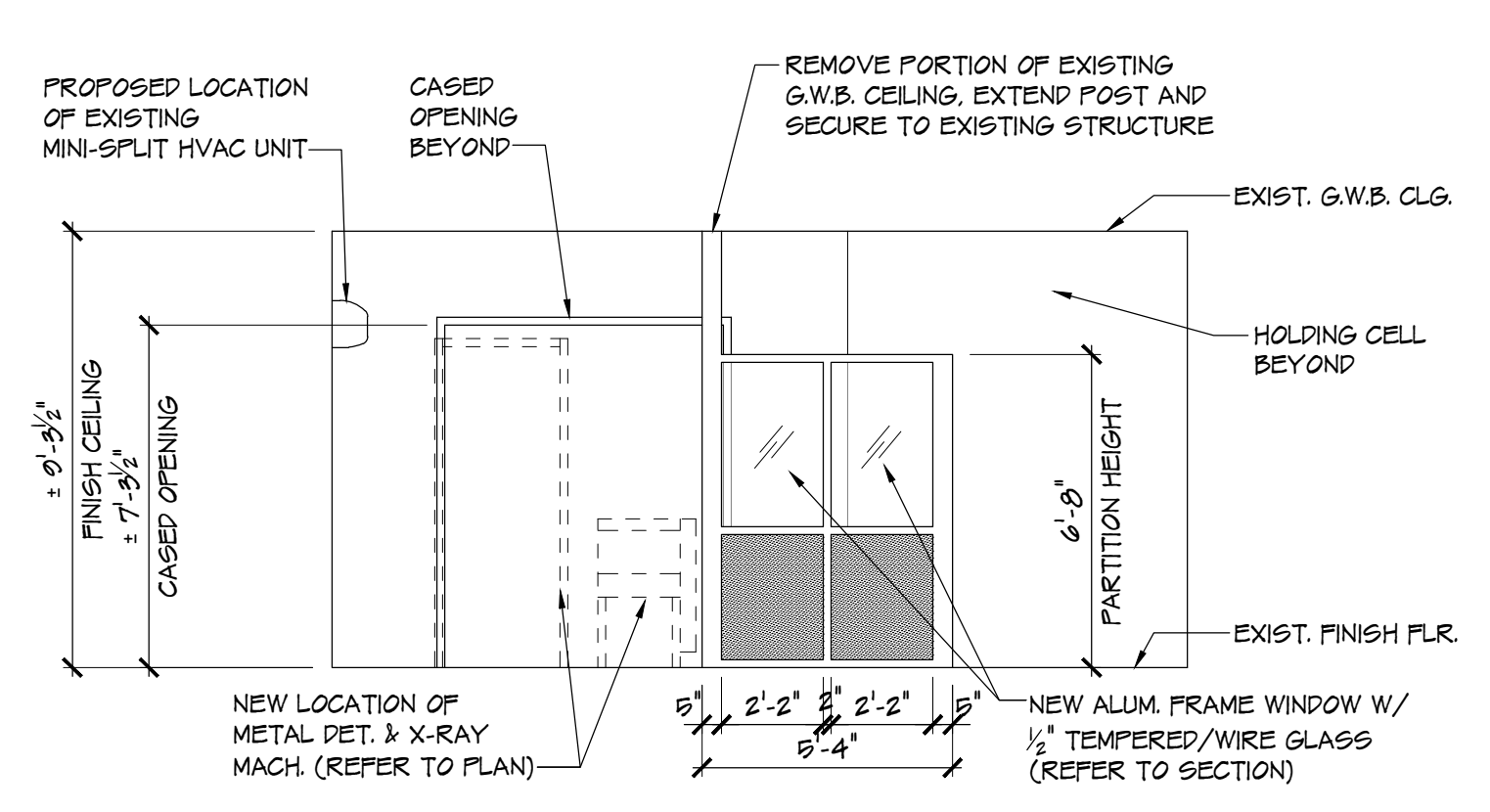
10 WALL SECTION
SCALE: 1" = 1'-0"



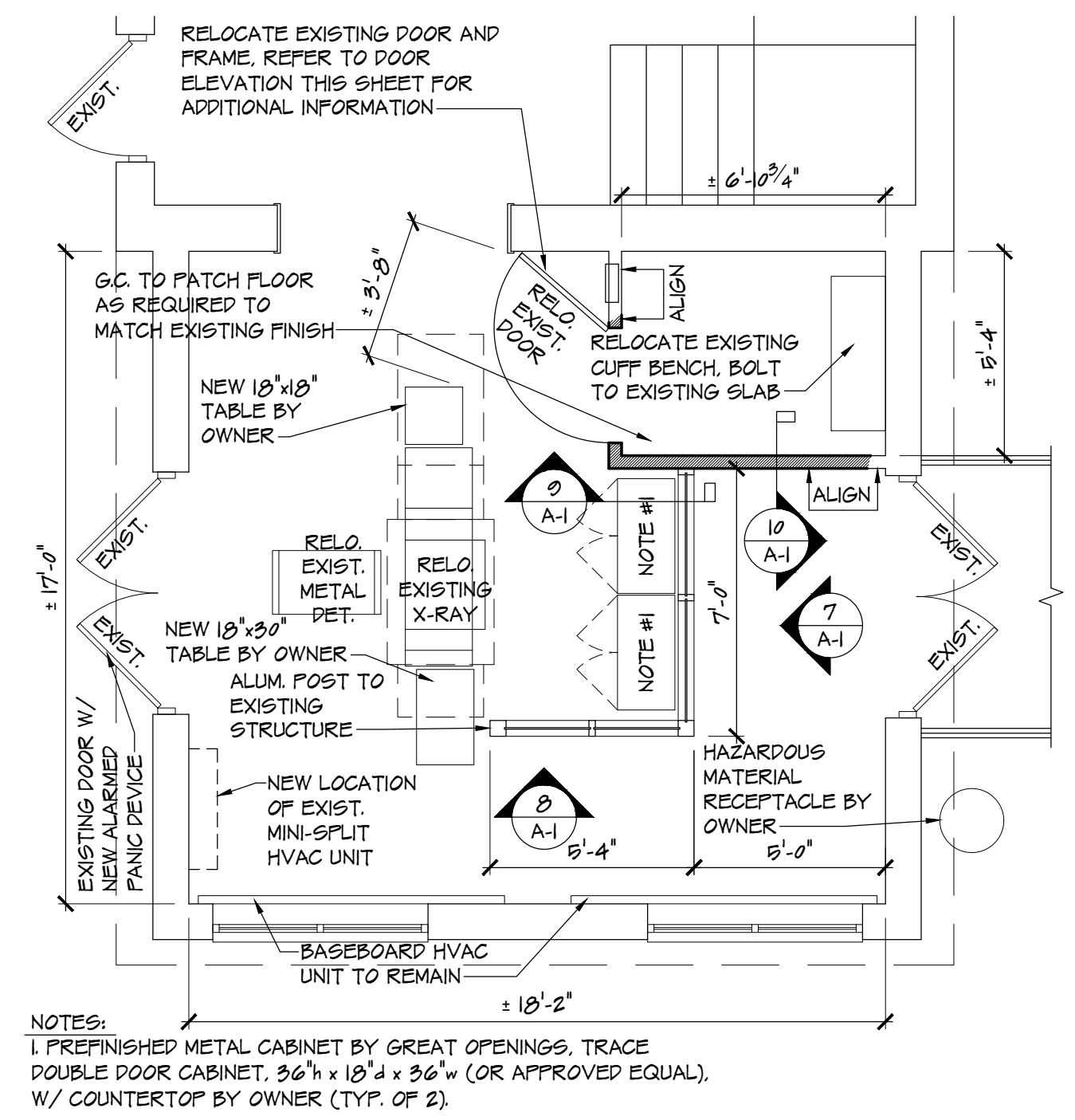
1 PARTIAL FIRST FLOOR - DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



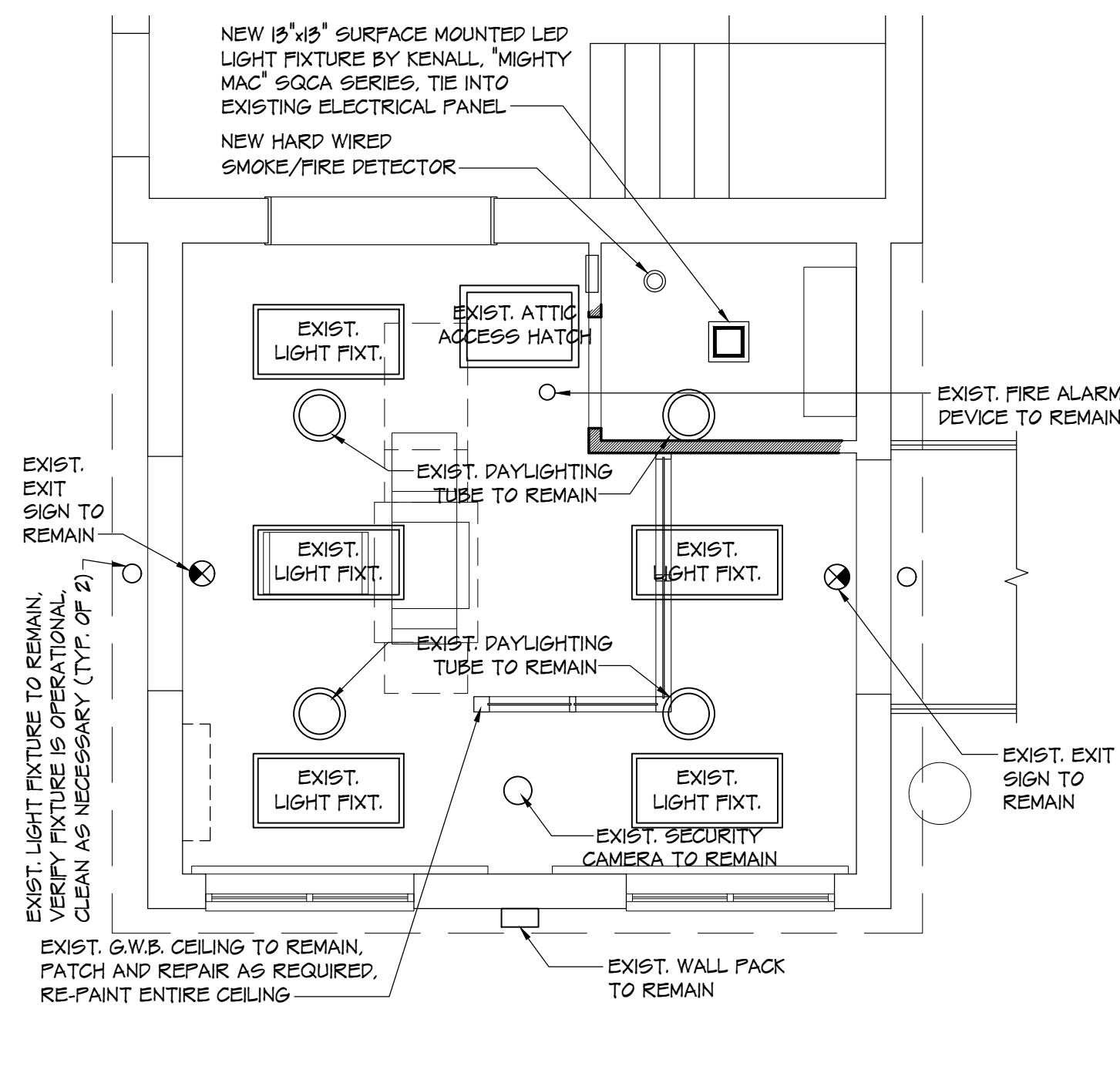
2 PARTIAL FIRST FLOOR - DEMO. REFLECTED CLG PLAN
SCALE: 1/4" = 1'-0"



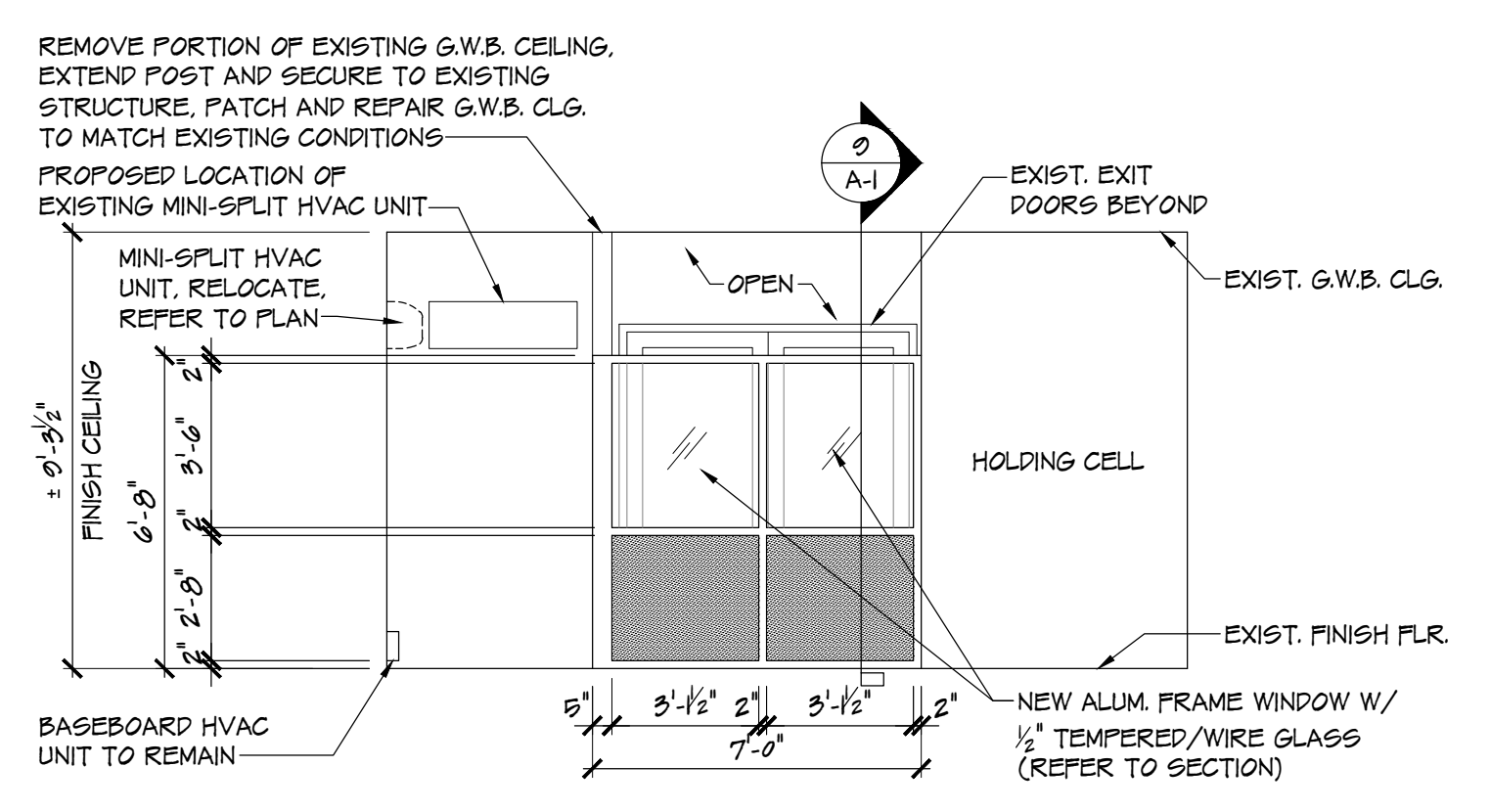
8 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



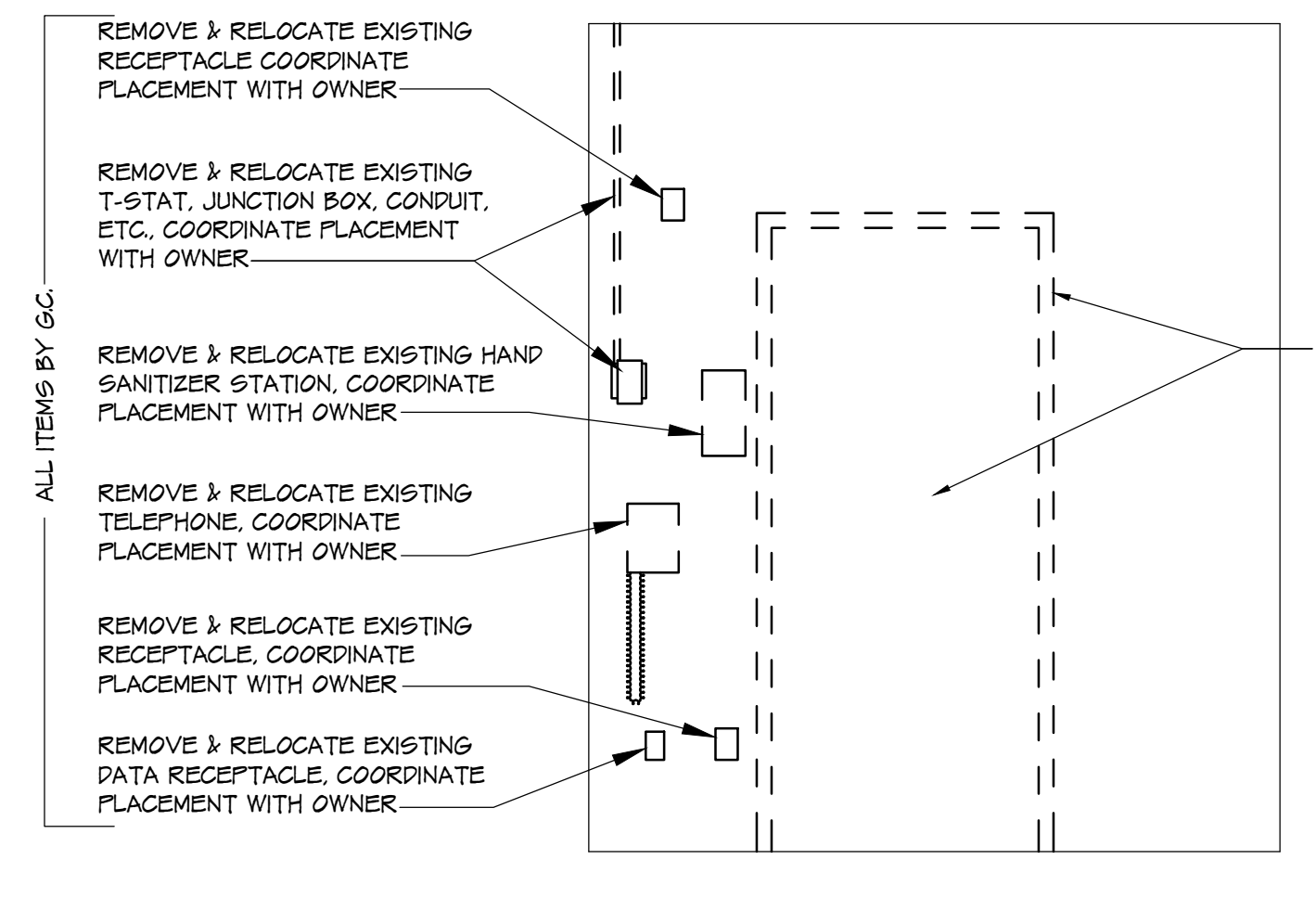
3 PARTIAL FIRST FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"



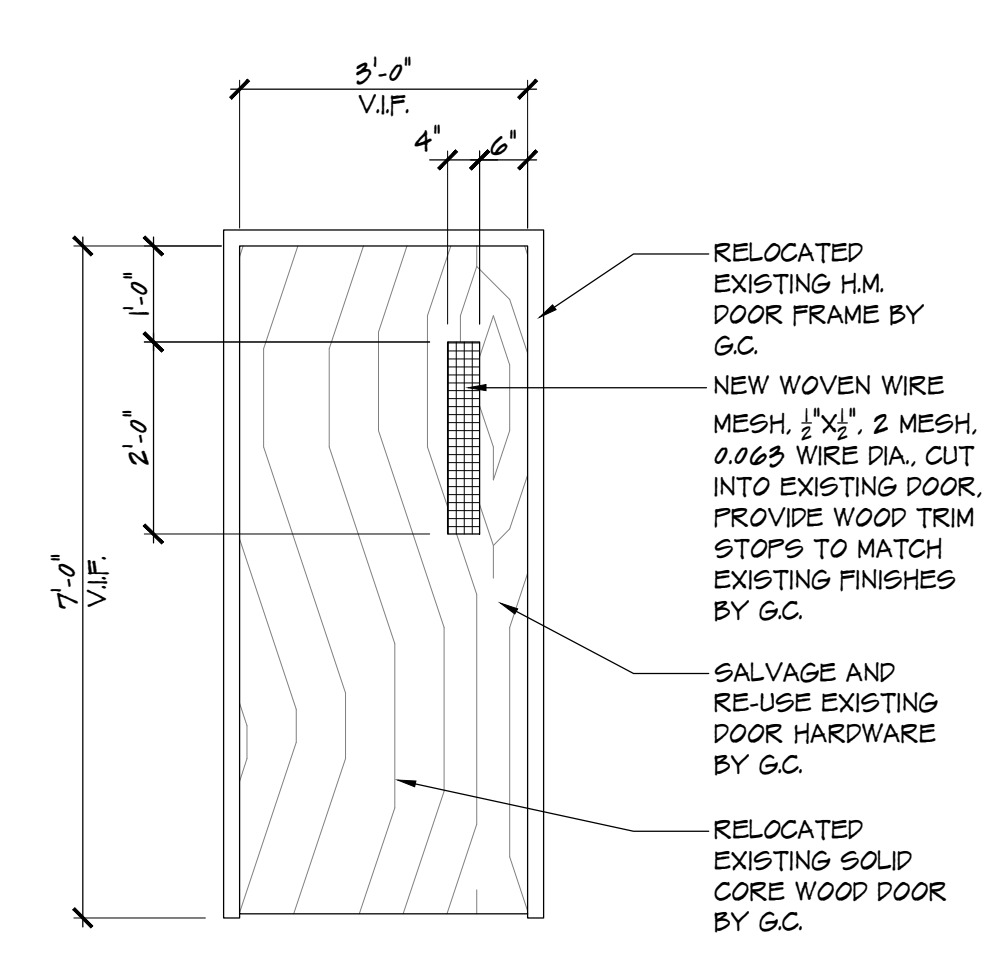
4 PARTIAL FIRST FLOOR - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



7 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 INTERIOR ELEVATION @ DEMOLISHED PARTITION
SCALE: 1/2" = 1'-0"



5 DOOR ELEVATION
SCALE: 1/2" = 1'-0"

- SCOPE OF WORK**
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Project: PROPOSED RENOVATION TO:
OCEAN COUNTY PROBATION LOBBY
18 HOOPER AVENUE
TOMS RIVER, NEW JERSEY

Project: DEMO FLOOR PLAN & RCP, PROP. FLOOR PLAN & RCP SECTIONS & ELEVATIONS

Drawn By: PJR 2
CHK'd By: MPY 07
Sheet No. 2

Project No. YC10144

Project Date: MAY 31, 2019

Revision By: Date