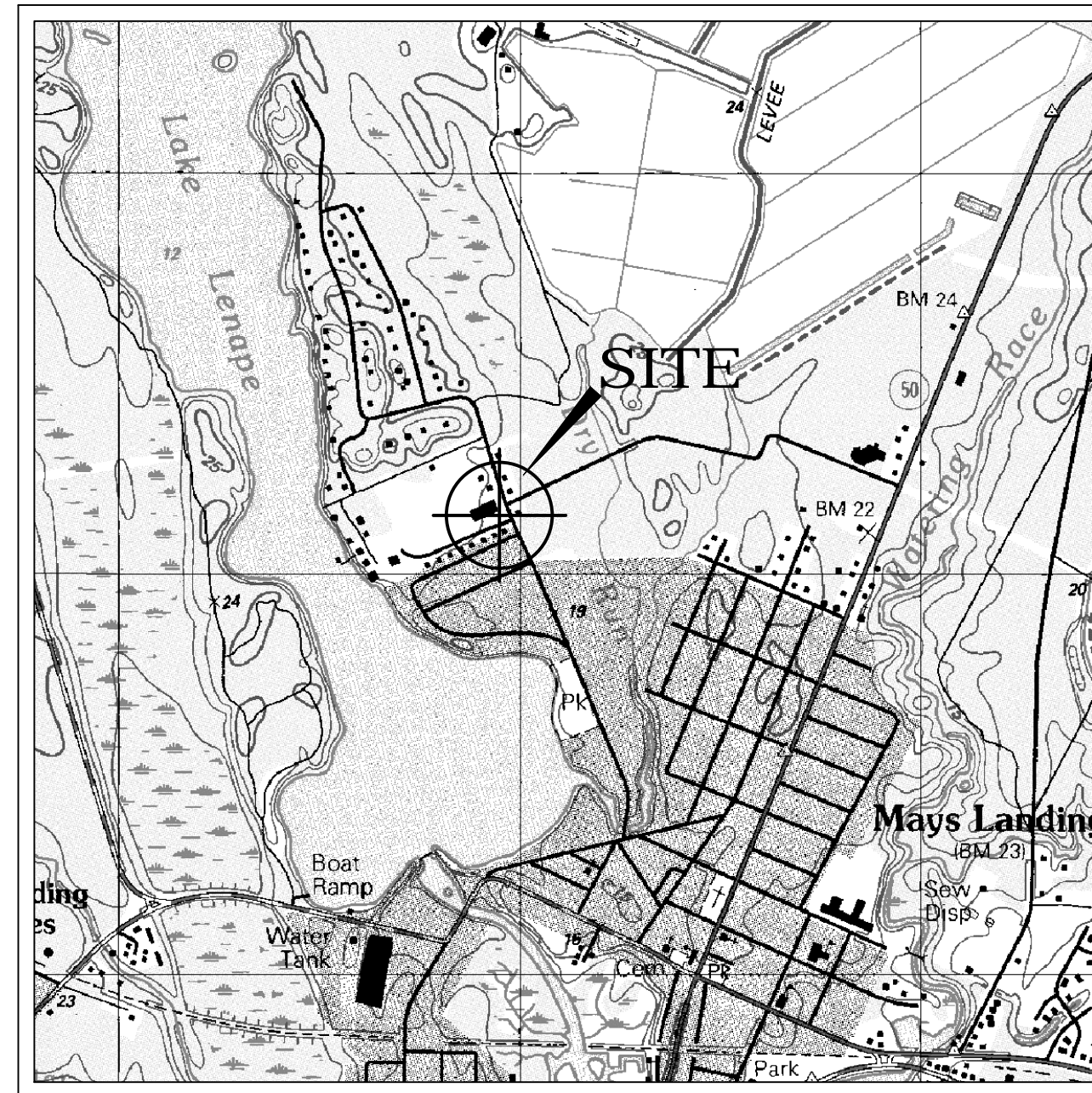


ATLANTIC



COUNTY

NEW JERSEY
DENNIS LEVINSON
COUNTY EXECUTIVE



LOCATION MAP
NTS.

JUNE 2019

LENAPE PARK EAST

CATERING HALL DECK RENOVATIONS

753 PARK ROAD
BLOCK 588 - LOT 75.01
HAMILTON TOWNSHIP, NEW JERSEY

FOR THE
ATLANTIC COUNTY GOVERNMENT

PREPARED BY:

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APPROVED BY COUNTY EXECUTIVE:

Dennis Levinson
DENNIS LEVINSON

June 21, 19
DATE

**CONTRACTOR TO VERIFY IN FIELD DIMENSIONS AND CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
EXISTING TO REMAIN AS IS UNLESS NOTED OTHERWISE.**

FOR ELECTRICAL & MECHANICAL WORK REFER TO CONCORD ENGINEERING DRAWINGS.

GENERAL NOTES

- THE SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICE TO MEET THE MINIMUM REQUIREMENTS OF INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION 2015, UCC - STATE OF NEW JERSEY REHABILITATION SUBCODE, ICGANSI: A117.1 - 2009
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS, BLDG. CODES, ORDINANCES AND GOOD CONSTRUCTION PRACTICES. IF THE CONTRACTOR FEELS A CONFLICT EXISTS BETWEEN WHAT IS CONSIDERED GOOD CONSTRUCTION PRACTICE AND THESE PLANS, HE SHALL STATE IN WRITING ALL OBJECTIONS PRIOR TO SITTING QUOTATIONS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS, APPROVALS, UNDERWRITERS CERTIFICATE, C.O. AND/OR COMPLETION FOR ALL THE WORK INDICATED, FROM AGENCIES HAVING JURISDICTION.
- THE SPECIFICATIONS AND DRAWINGS INDICATE THE FINISHED STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL REVIEW THE DRAWINGS PRIOR TO BIDDING. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING NOTES:
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON THE DRAWINGS OR NOTED IN THE SPECIFICATIONS. ANY VARIANCES WITHIN THE DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE REPORTED TO THE OWNER IN WRITING. ARCHITECT WILL PROVIDE THE NECESSARY CORRECTIONS OR ADDITIONS TO PLANS. IF THE CONTRACTOR DOES NOT NOTIFY THE OWNER AND ARCHITECT OF ANY SUCH CONDITION, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INCLUDED THE NECESSARY ITEMS IN HIS BID.
- IT IS THE CONTRACTOR'S RESPONSIBILITY DURING THE COURSE OF THE WORK, TO BRING TO THE ATTENTION OF THE OWNER AND ARCHITECT ANY DELETERIOUS CONDITIONS DISCOVERED WHERE NOT PREVIOUSLY IDENTIFIED. IF, IN THE COURSE OF CONSTRUCTION, A CONDITION EXISTS WHICH DISAGREES WITH THAT AS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREOF.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILITY AND INTEGRITY OF EXISTING STRUCTURES AND THE PROTECTION OF ADJACENT PROPERTY AND PUBLIC UNTIL COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL INVESTIGATE THE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL SUBMIT ALL ALTERNATE MATERIALS, METHODS OR CONSTRUCTION DETAILS TO THE OWNER AND ARCHITECT FOR APPROVAL, PRIOR SUBMITTING QUOTATIONS.
- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR THE ACCURACY OF ALL MEASUREMENTS, ESTIMATES OF MATERIAL QUANTITIES AND SIZES, AND SITE CONDITIONS THAT WILL AFFECT WORK.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED WORKMAN'S COMPENSATION AND LIABILITY INSURANCE TO DO ALL THE WORK.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND PROVISIONS OF APPLICABLE ICBO RESEARCH RECOMMENDATIONS.
- THE OWNER AND CONTRACTOR SHALL INDEMNIFY, INSURE AND HOLD HARMLESS THE ARCHITECT, ENGINEER AND EACH OF HIS DIRECTORS, OFFICERS, EMPLOYEES, ATTORNEYS, AGENTS, SUBCONSULTANTS, HEIRS AND ASSIGNS, AGAINST, AND HOLD EACH OF THEM HARMLESS FROM, ANY LOSS, LIABILITIES, DAMAGES, CLAIMS, CAUSES OF ACTION, COSTS AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND DISBURSEMENTS SUFFERED OR INCURRED BY ANY OF THEM ARISING OUT OF, RESULTING FROM, ATTRIBUTABLE TO, OR IN ANY MANNER CONNECTED WITH THE CONTRACTOR'S PERFORMANCE NONPERFORMANCE, NEGLIGENT PERFORMANCE, OR BREACH OF THE CONTRACT AWARDED.

SYMBOLS LIST

- PARTITION KEY** PARTITION
- DETAIL** DETAIL NUMBER
 SHEET NUMBER
- ELEVATION** ELEVATION NUMBER
 SHEET NUMBER
- SECTION** ELEVATION NUMBER
- INTERIOR ELEVATION KEY** SHEET NUMBER
- DOOR KEY** DOOR NUMBER
 WINDOW TYPE
- GLAZING KEY** MATERIAL
- CEILING KEY** CEILING HEIGHT ABOVE FINISHED FLOOR
- ROOM KEY** OFFICE
 ROOM
- DIMENSION LINE**
- COLUMN BUBBLE**
- ELEVATION MARK**
- HVAC DIFFUSER**
- TITLE
SCALE

ABBREVIATIONS

ABV. ABOVE	E. EXISTING	IDENT. IDENTIFICATION	RE. RELOCATED EXISTING IN NEW LOCATION
ACOUST. ACOUSTIC	EA. EACH	INFO. INFORMATION	REBAR REINFORCING BAR
ACT. ACOUSTIC TILE	E.F. EXHAUST FAN	INT. INTERMEDIATE	REFRIG. REFRIGERATOR
A.F.F. ABOVE FINISHED FLOOR	E.J. EXPANSION JOINT	INSUL. INSULATION	REQ'D. REQUIRED
ALT. ALTERNATE	E.L. ELEVATION	JAN. JANITOR	REV. REVISION
ALUM. ALUMINUM	ELEC. ELECTRIC / ELECTRICAL	JB. JAMB	RM. ROOM
A.T. ALUMINUM THRESHOLD & AND	ELEV. ELEVATOR	JT. JOINT	R.V. ROOF VENT
ANGLE AND	ENT. ENTRANCE	KIT. KITCHEN	SCHED. SCHEDULE
ANGLE	EQ. EQUAL	K.P. KICK PLATE	SHT. SHEET
APPL. APPLY	EQUIP. EQUIPMENT	L. LONG	S.C. SOLID CORE
APPROX. APPROXIMATE	ER. EXISTING TO BE RELOCATED	LAB. LABEL	S.F. SQUARE FOOT / FEET
A.R.F. ABOVE ROUGH FLOOR	E.S. EACH SIDE	LAV. LAVATORY	SIM. SIMILAR
A.T. ALUMINUM THRESHOLD	ESC. ESCALATOR	L.L.H. LONG LEG HORIZONTAL	SL. SILL
@ AT	EXIST. EXISTING	L.L.V. LONG LEG VERTICAL	SP. SPACE / SPACES
BD. BOARD	EXP. EXPANSION	L.P. LOW POINT	SPEC'S. SPECIFICATIONS
BLDG. BUILDING	EXT. EXTERIOR	LT. LIGHT	SQ. SQUARE
BLK. BLOCK / BLOCKING	F.A. FRESH AIR	L.W.C. LIGHTWEIGHT CONCRETE	STD. STANDARD
B.O. BOTTOM	F.D. FLOOR DRAIN	MACH. MACHINE	STL. STEEL
BTWN. BETWEEN	F.E.C. FIRE EXTINGUISHER CABINET	MAT. MATERIAL	STN. STAINED
B.U. BUILT UP	F.H.C. FIRE HOSE CABINET	MAX. MAXIMUM	STRUCT. STRUCTURAL
B.U.R. BUILT UP ROOFING	FIN. FINISH	MECH. MECHANICAL	T. THICKNESS / TREAD
CAB. CABINET	FL. FLOOR	MFR. MANUFACTURER	T. & B. TOP AND BOTTOM
CANT. CANTILEVER	FLUOR. FLUORESCENT	MIN. MINIMUM	TK. THICK
CER. CERAMIC	FR. FRAME	M.O. MASONRY OPENING	T.M.E. TO MATCH EXISTING
CH. CHANNEL	FS. FLOOR SINK	M.T. MOUNTED	T.O.L. TOP OF LIP
C.I.P. CAST IN PLACE	F.R.T. FIRE RETARDANT TREATED	MTL. METAL	T.O.S. TOP OF STEEL
C.J. CONTROL JOINT	GA. GAUGE	N.I.C. NOT IN CONTRACT	T.V. TELEVISION
CL. CLOSET	GALV. GALVANIZED	NO. NUMBER	TYP. TYPICAL
CLG. CEILING	G.B. GYPSUM BOARD	N.T.S. NOT TO SCALE	U.C. UTILITY CLOSET
C.M. CONVEX MIRROR	GLS. GLASS	N.W. NO WORK	U.L. UNDERWRITER'S LABORATORIES UNLESS NOTED OTHERWISE
C.M.U. CONCRETE MASONRY UNIT	GRD. GRADE	O.C. ON CENTER	U.S.G. UNITED STATES GYPSUM
COL. COLUMN	G.W.SB. GYPSUM WALL BOARD	OPG. OPENING	V.C.T. VINYL COMPOSITION TILE
CONC. CONCRETE	GYP. BD. GYPSUM BOARD	O.D. OUTSIDE DIAMETER	VERT. VERTICAL
CON. CONSTRUCTION	HC. HANDICAP / HOLLOW CORE	P.C.P. PORTLAND CEMENT	VEST. VESTIBULE
CONSTR. CONSTRUCTION	HD. HEAD	+/- PLUS / MINUS	V.I.F. VERIFY IN FIELD
CONT. CONTINUOUS	H.M. HOLLOW METAL	R. PLATE	V.V.C. VINYL WALL COVERING
CORR. CORRIDOR	HORIZ. HORIZONTAL	PLYWD. PLYWOOD	V.W.M. VERIFY WITH MANUFACTURER
C.R. COLD ROLLED	H.P. HIGH POINT	PREFAB. PREFABRICATED	W. WIDTH
C.T. CERAMIC TILE	H.R. HANDRAIL	PT. POINT	WD. WOOD
C.W. CONDENSATE WASTE	HR. HOUR	P.D. PAINTED	W/ WITH
DET. DETAIL	HT. HEIGHT	PVC. POLYVINYL CHLORIDE	W.R. WATER RESISTANT
DTL. DETAIL	H.V.A.C. HEATING, VENTILATION & AIR CONDITIONING	R. REMOVED	WT. WEIGHT
DBL. DOUBLE	I.D. INTERIOR DESIGNER	RAD. RADIUS	W.W.F. WELDED WIRE FABRIC
DWGS. DRAWINGS		R.D. ROOF DRAIN	

ANALYSIS OF BUILDING

BUILDING USE:

		FLOOR	AREA
CATERING HALL	A-2 (Banquet Hall, but Not Night Club)	First Floor	6,232 SF (INCLUDED 1,400 SF. DECK)
	A-3 Community Hall	Basement	5,400 SF

BUILDING TYPE:

5-B

CODE REVIEW:

IBC NEW JERSEY EDITION 2015
ICC / ANSI A117.1- 2009
UCC NJ - STATE OF NEW JERSEY
REHABILITATION SUBCODE: RENOVATION.

INDEX OF SHEETS

SHEET NUMBER	DESCRIPTION
ARCHITECTURAL DRAWINGS	
A-0	COVER SHEET
A-0.1	ARCHITECTURAL NOTES
A-1	LOCATION PLAN EXISTING & NEW FLOOR PLAN
A-2	EXISTING & NEW CEILING PLANS
A-3	INTERIOR ELEVATIONS & DETAILS
A-4	SECTION & DETAILS
A-5	EXTERIOR ELEVATIONS
A-6	EXTERIOR ELEVATION
ELECTRICAL DRAWINGS	
E-0	ELECTRICAL GENERAL NOTES, LEGEND, SYMBOLS, ABBREVIATIONS & KEY PLAN
E-1	ELECTRICAL PLANS
E-2	ELECTRICAL HEAT PUMP WIRING DIAGRAM
MECHANICAL DRAWINGS	
M-0	CATERING HALL- MECHANICAL DEMOLITION PLANS
M-1	MECHANICAL PLAN, PIPING DETAIL & SCHEDULE

DRAWING TITLE	
ARCHITECTURAL NOTES	
PROJECT No.	# 17.41 - Lenape Park - Rear Deck
DRAWING No.	A-O.1

ISSUED FOR BID	07/10/19
PROGRESS	07/03/19
PROGRESS	06/24/19
PROGRESS	06/11/19
PRELIMINARY	05/21/19
REVISION	
No.	DATE

Renovations to:
LENAPE PARK EAST
Catering Hall - Deck

753 Park Road
Block: 568 - Lot: 75.01
New Jersey

Hamilton Township

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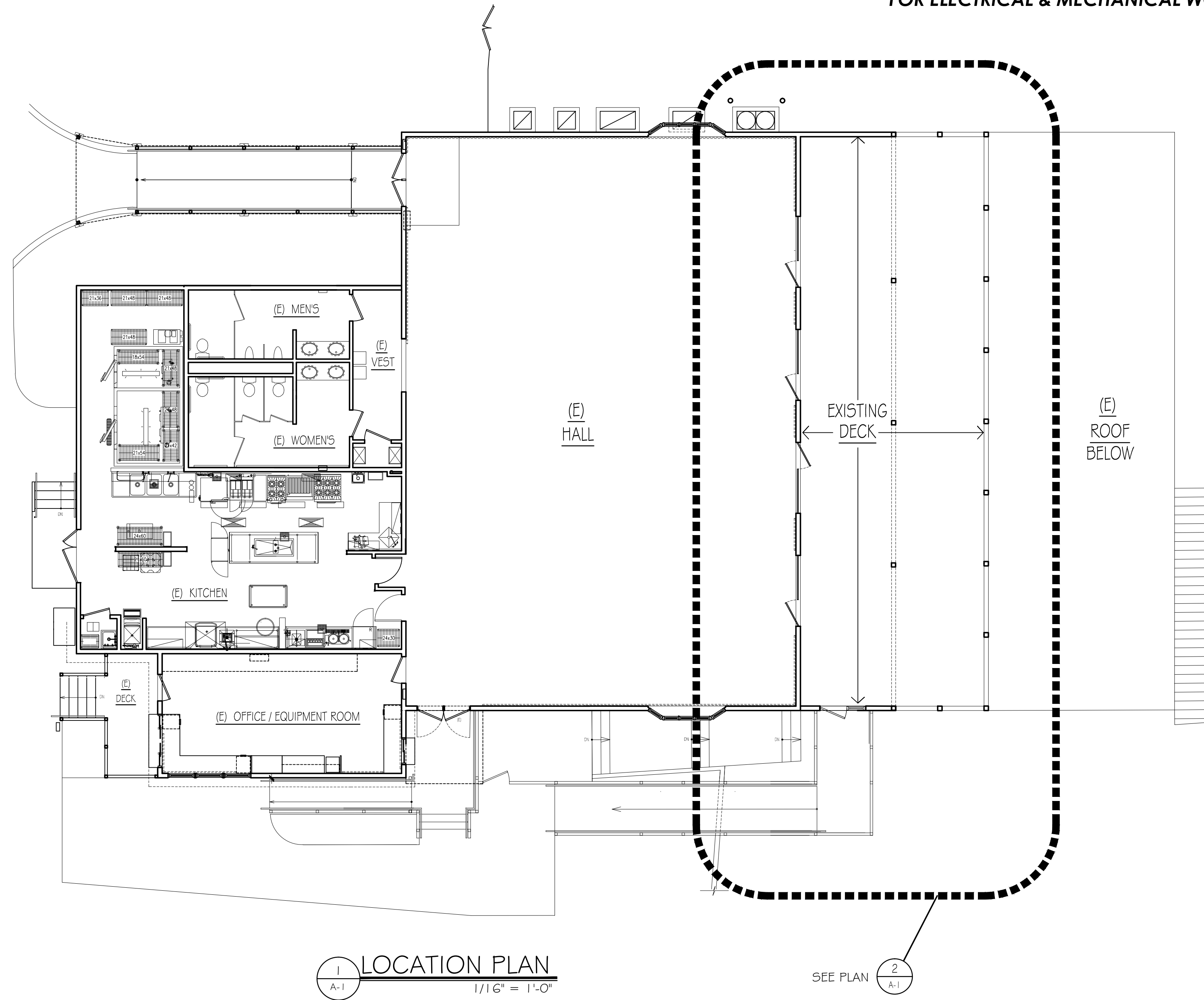
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Registered Architect:

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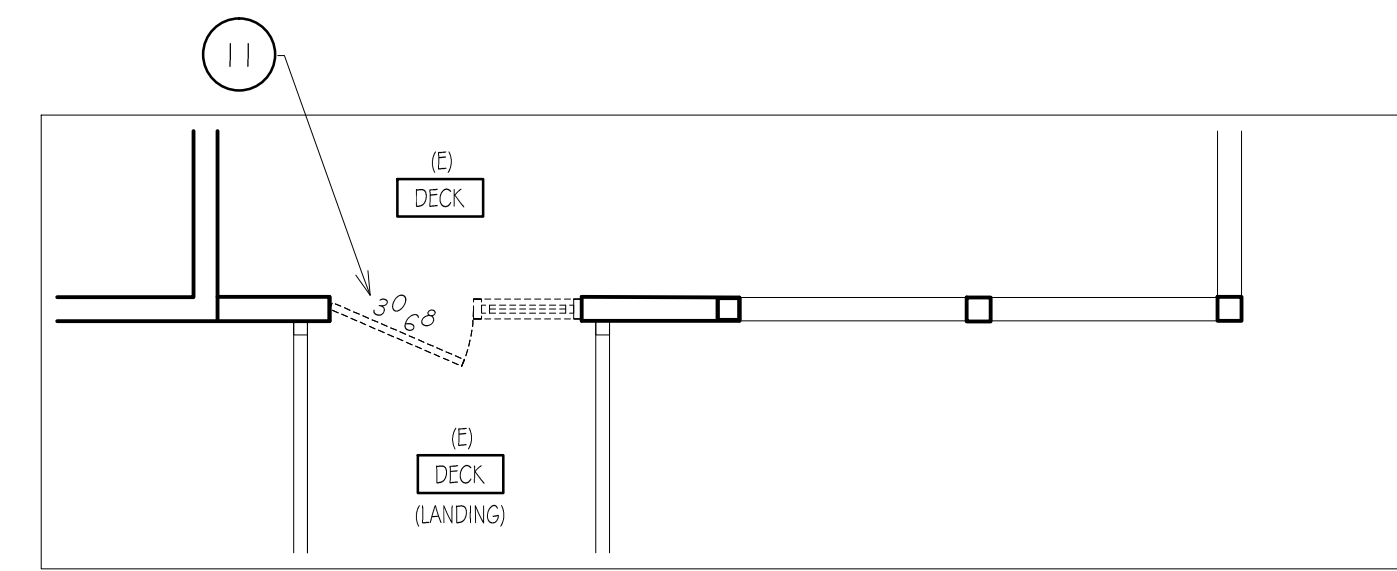
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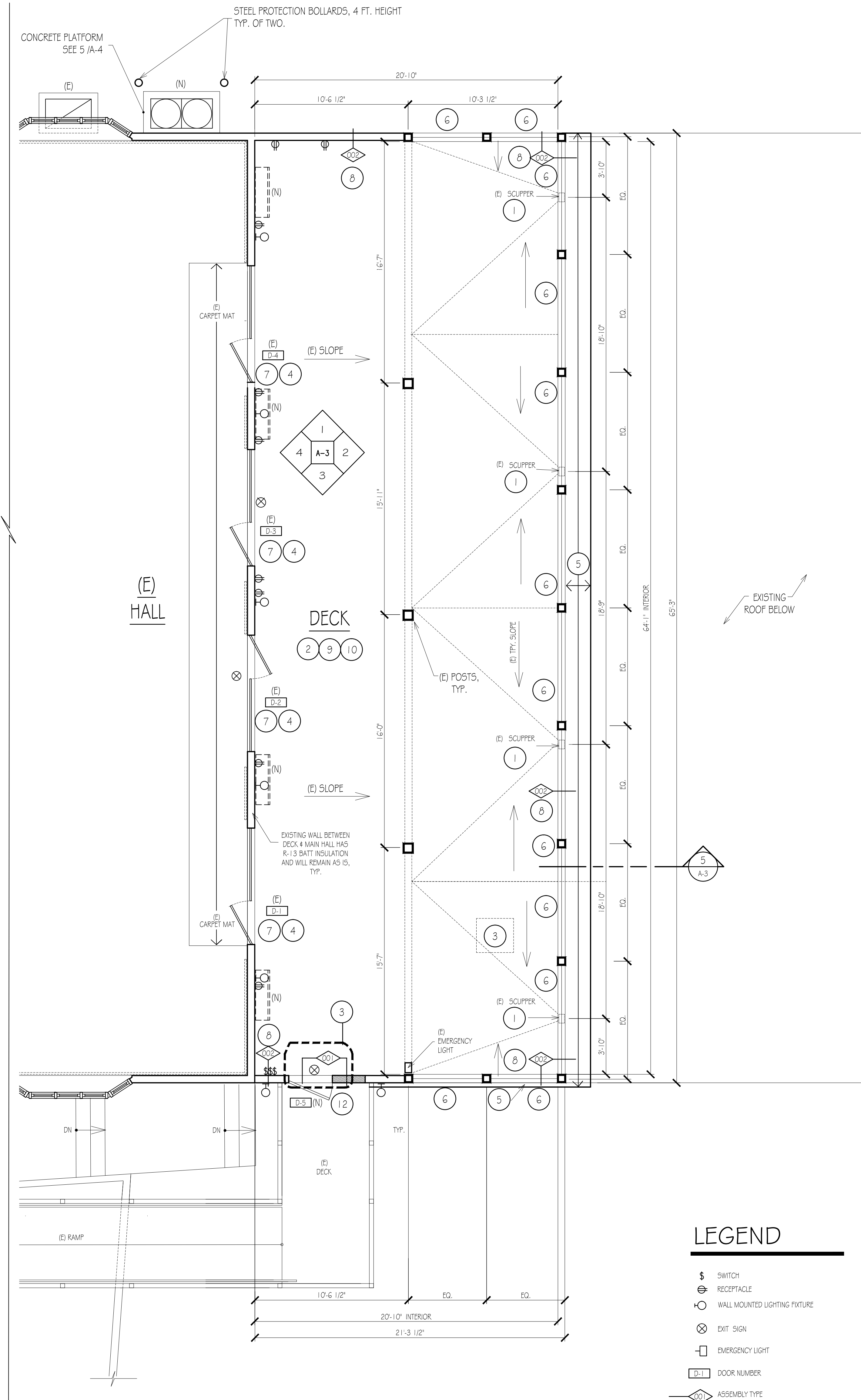
1 LOCATION PLAN
1/16" = 1'-0"

DEMOLITION AND NEW WORK NOTES:

1. INSTALL HINGED VENT IN EXISTING SCUPPERS. SEE 5/A-3.
2. REFRAME SCUPPER AND MAKE OPENINGS BIGGER AS REQUIRED AND INSTALL WOOD BLOCKING FOR HINGED VENT INSTALLATION. COVER ALL SCUPPER SIDES WITH DECK COATING.
3. ALL EXISTING DECK FLOORING AND WALL BASE SHALL BE GRINDED AND PREPARED AS REQUIRED, AND INSTALL NEW COATING SYSTEM ON ENTIRE DECK SURFACE AND UP TO WALL BASE, INCLUDING AROUND ALL SIDES OF SCUPPERS, AND ON EXTERIOR FLOOR OVERHANG TO ROOF BELOW. REFER TO RESINOUS COATING SPECIFICATION SECTION. THE INSTALLER OF THE EXISTING DECK COATING IS BRADLEY FLOORS (WWW.BRADLEYFLOORS.COM)
4. REPLACE DAMAGED/ ROTTEN PLYWOOD DECK TO MATCH EXISTING. INCLUDE THREE (3) 4 FT x 8 FT. INSTALL SOLID BLOCKING TO SUPPORT NEW PLYWOOD. LOCATIONS TO BE VERIFIED IN FIELD.
5. REMOVE AND REINSTALL METAL DOOR THRESHOLDS FOR THE INSTALLATION OF DECK COATING (SEE ITEM #2), TYPICAL FOR ALL INTERIOR DECK DOORS.
6. PREPARE EXTERIOR DECK OVERHANG TO ROOF BELOW ON REAR AND RIGHT SIDE OF DECK, AND INSTALL COATING (SEE ITEM #2). REFER TO COATING SPECIFICATION SECTION.
7. SUPPLY AND INSTALL TWELVE (12) NEW VINYL SHEET "WINDOWS" IN FRONT OF EXISTING VINYL SHEET ZIP "WINDOWS". SEE 6 / A-3 FOR ADDITIONAL INFORMATION. INSTALL NEW STRAPS FOR EXISTING VINYL SHEET "WINDOWS" WITH ZIPPERS THAT HOOK ON THE INSIDE OF THE DECK. SUPPLY 30 ADDITIONAL STRAPS FOR FUTURE USE. SEE 6 / A-3.
8. REPLACE THE EXISTING DOOR CLOSER ARM WITH A HEAVY DUTY HOLD OPEN ARM IN DOOR D-2, AND INSTALL DOOR CLOSER FLOOR MOUNTED FOR DOORS D-1, D-3 AND D-4. REFER TO HARDWARE SPECIFICATION SECTION. REPAINT EXISTING DOORS AND FRAMES.
9. INSTALL BLOWING FIBERGLASS INSULATION IN ALL EXTERIOR WALLS. SEE SHEET A-4 FOR PARTITION 002 AND DETAIL 3/A-4. SEE SPECIFICATIONS.
10. INSTALL CONTINUOUS 3/4" x 6" CEMENTITIOUS TRIM TO COVER THE HOLES DONE IN THE CEMENT BOARD SIDING AT THE TOP AND BOTTOM OF WALLS. - SEE A-3
11. INSTALL BLOWING FIBERGLASS INSULATION IN FLOOR/CEILING ASSEMBLY. SEE SPECIFICATIONS. SEE SHEET A-4 FOR ASSEMBLY DETAIL 003, AND DETAIL 4/A-4.
12. REMOVE EXISTING CEMENTITIOUS CEILING. INSTALL CLOSED CELL FOAMED IN PLACE POLYURETHANE INSULATION. SEE SPECIFICATIONS. INSTALL NEW CEMENTITIOUS CEILING AND TRIM TO MATCH EXISTING AND PAINTING. SEE SHEET A-4 FOR ASSEMBLY DETAIL 004, AND DETAIL 2/A-4.
13. REMOVE EXTERIOR DOOR, SIDELITE, TRANSOM AND FRAME -SEE 3/A-1.
14. INSTALL NEW SINGLE HOLLOW METAL DOOR AND FRAME SEE 2/ A-1, 7/A-3. INSTALL (2) 2X10 WOOD HEADER, AND (2) 2X4 POSTS AT SIDE TO BE FILLED. FILL WALL OPENING WITH WOOD FRAMING AND FINISHES TO MATCH EXISTING. SEE SHEET A-4 FOR ASSEMBLY 001.



3 DEMOLITION EXTERIOR DOOR PLAN
1/4" = 1'-0"



2 REAR DECK FLOOR PLAN
1/4" = 1'-0"

LEGEND

- ⊞ SWITCH
- ⊞ RECEPTACLE
- ⊞ WALL MOUNTED LIGHTING FIXTURE
- ⊞ EXIT SIGN
- ⊞ EMERGENCY LIGHT
- ⊞ DOOR NUMBER
- ⊞ ASSEMBLY TYPE
- ⊞ WALL-MOUNTED AC / HEAT UNIT - SE MECH. / ELECT. DWGS
- ⊞ HEAT PUMP CONDENSING UNIT - SEE MECH. / ELECT. DWGS

DRAWING TITLE	LOCATION PLAN (E) & (N) FLOOR PLAN
PROJECT No.	# 17.41 Lenape Park - Rear Deck
DRAWING No.	A-1

ISSUED FOR BID	07/10/19
PROGRESS	07/03/19
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Renovations to:
LENAPE PARK EAST
Catering Hall - Deck

753 Park Road
Block: 588 - Lot: 75.01

Hamilton Township
New Jersey

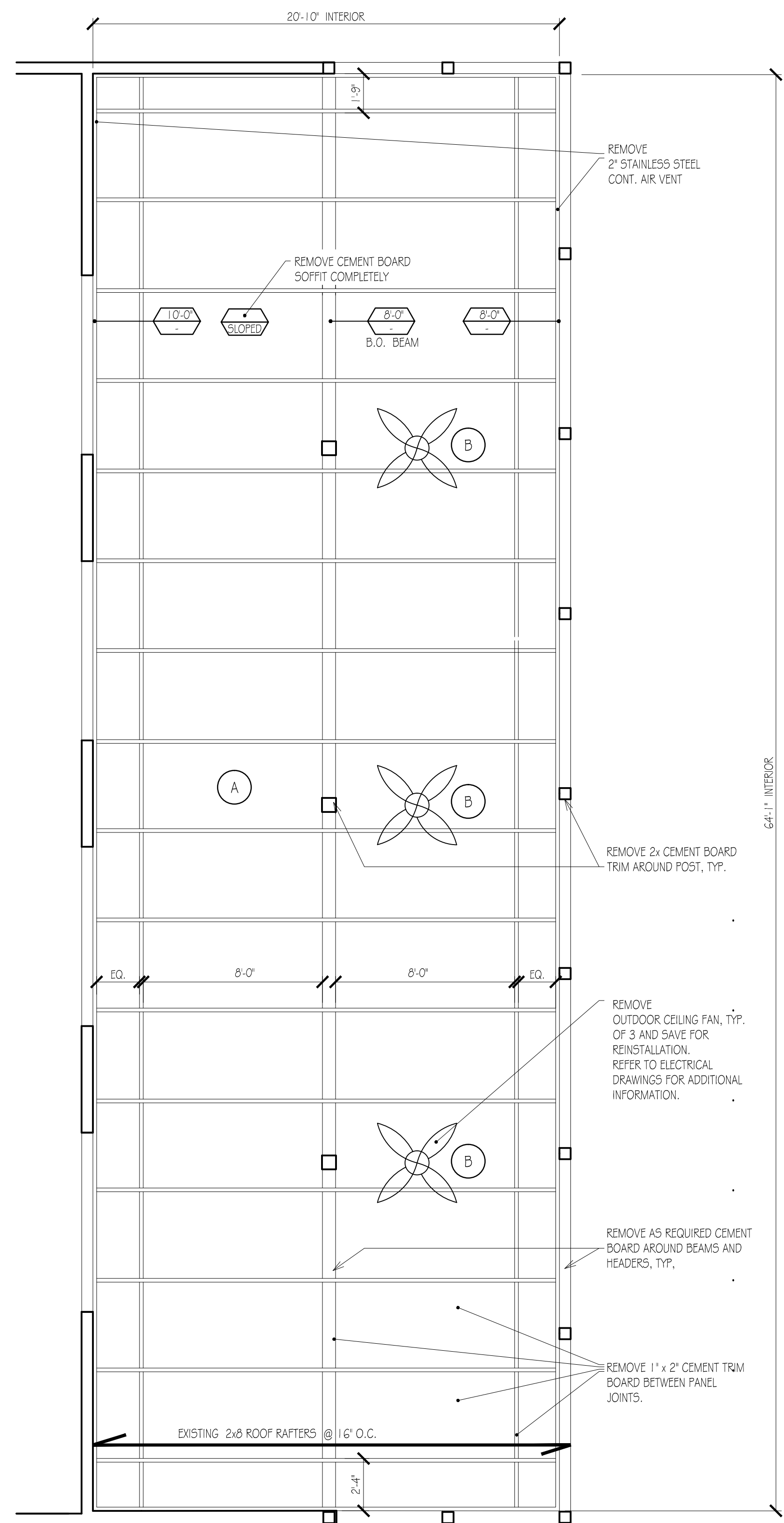
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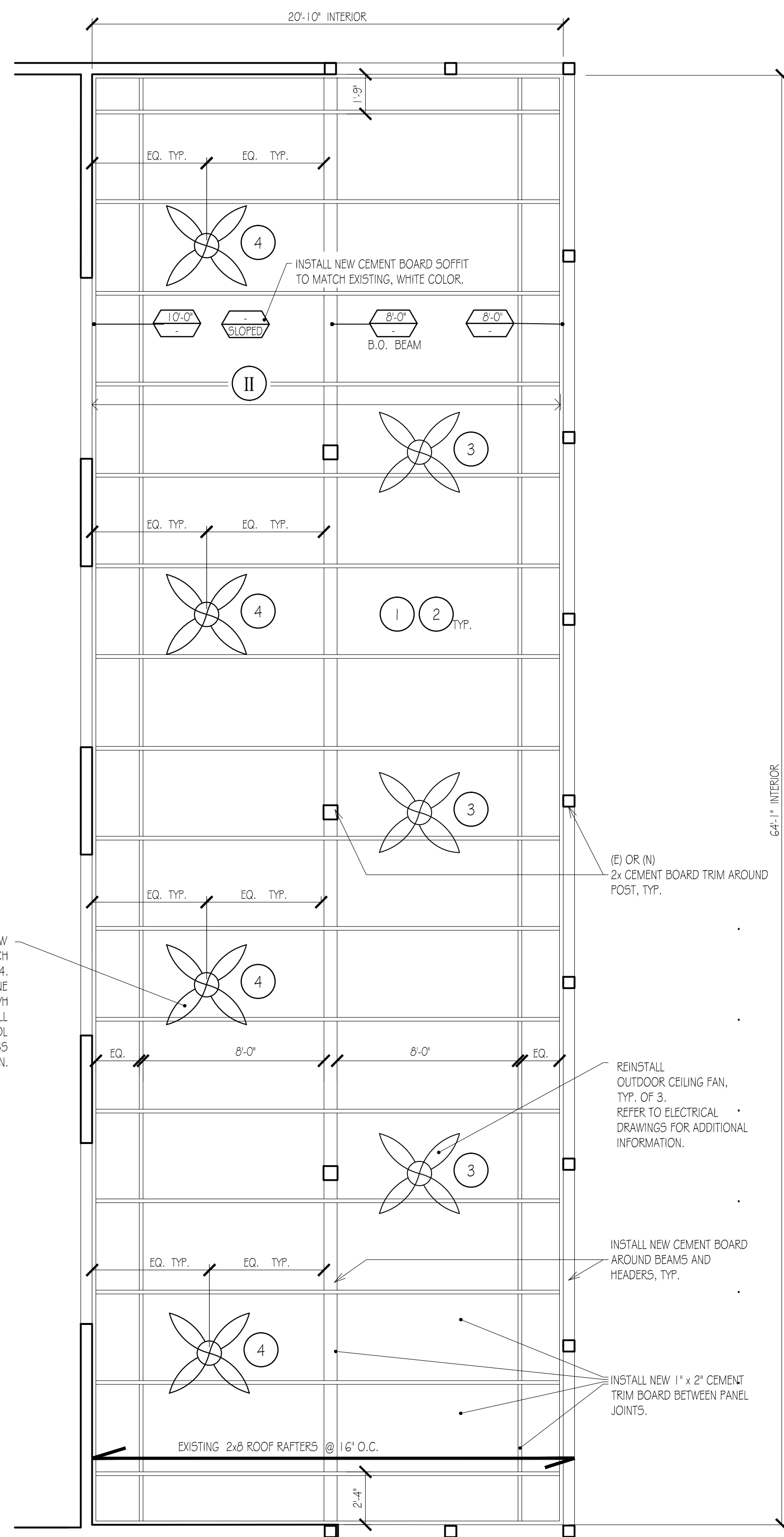
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1
A-2 REAR DECK DEMOLITION CEILING PLAN
1/4" = 1'-0"

DEMOLITION NOTES :

- A REMOVE CEMENTITIOUS BOARD CEILING AND TRIM FOR INSTALLATION OF SPRAY POLYURETHANE INSULATION.
- B REMOVE CEILING FAN / LIGHTS AND SAVE TO BE REINSTALLED. CONTRACTOR TO SUBMIT CERTIFICATION LETTER AND PICTURES OF THE EXISTING CEILING FANS/LIGHTS RELATED TO THEIR WORKING CONDITIONS PRIOR TO THEIR REMOVAL AND REINSTALLATION.



2
A-2 REAR DECK NEW CEILING PLAN
1/4" = 1'-0"

NEW WORK NOTES :

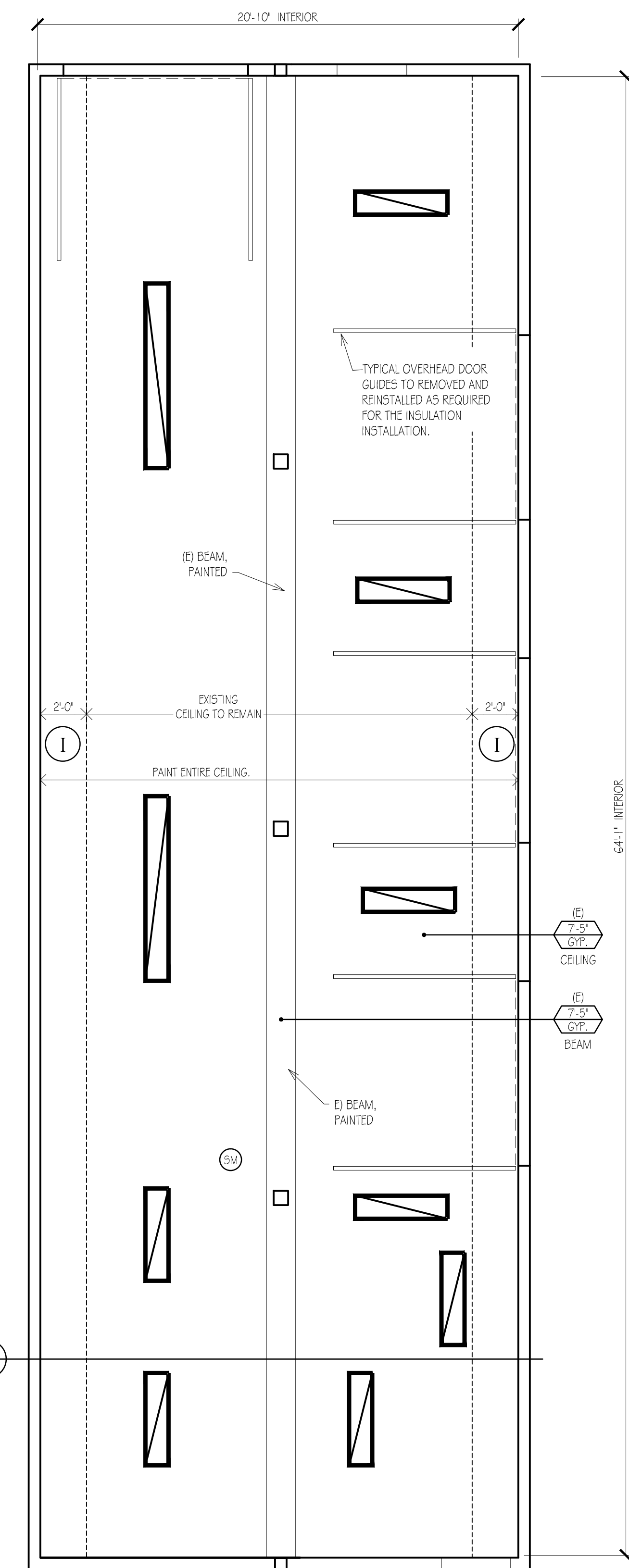
- 1 INSTALL SPRAY CELL POLYURETHANE INSULATION BETWEEN 2x6 ROOF RAFTERS IN ENTIRE CEILING SEE 2.
- 2 INSTALL NEW CEMENTITIOUS BOARD AND TRIM TO MATCH EXISTING. SEE 1.
- 3 REINSTALL EXISTING CEILING FAN / LIGHTS.
- 4 INSTALL NEW CEILING FAN / LIGHTS LOCATION TO BE VERIFIED IN FIELD WITH ARCHITECT.

LEGEND :

- 1 REMOVE AND INSTALL THE BASEMENT 2 HOUR DRYWALL CEILING AS REQUIRED FOR THE BLOW-IN FIBERGLASS INSULATION. SEE 2 ON SHEET 1-A-4, AND 41 A-3.
- PAINT WHITE ENTIRE DRYWALL CEILING AND BEAMS. SEE PAINT SPECIFICATIONS.
- EXISTING OVERHEAD DOOR GUIDES, AND LIGHTING FIXTURES TO BE REMOVED AND REINSTALLED AS REQUIRED FOR THE INSULATION INSTALLATION.
- 2 CEMENT BOARD PANELS AND TRIM TO BE WHITE ENTIRE DECK CEILING.

NOTE:

CEMENT BOARD PANELS FOR REAR DECK CEILING AND TRIM ARE INTEGRAL COLOR WHITE PAINTED BY SIDING MANUFACTURER. FIELD PAINTED ONLY AS REQUIRED FOR TOUCH UP.



3
A-2 BASEMENT CEILING PLAN
1/4" = 1'-0"

LEGEND :

- 1 SURFACE MOUNTED LIGHT FIXTURE, TYP.
- 2 SMOKE DETECTOR
- 3 OVERHEAD DOOR GUIDES
- 4 CEILING HEIGHT

NOTE:
EXISTING OVERHEAD DOOR GUIDES, AND LIGHTING FIXTURES TO BE REMOVED AND REINSTALLED AS REQUIRED FOR THE INSULATION INSTALLATION.

DRAWING TITLE	
EXISTING & NEW CEILING PLAN	
PROJECT No.	# 17.41 Lenape Park - Rear Deck
DRAWING No.	A-2

ISSUED FOR BID	07/10/19
PROGRESS	07/03/19
PROGRESS	06/24/19
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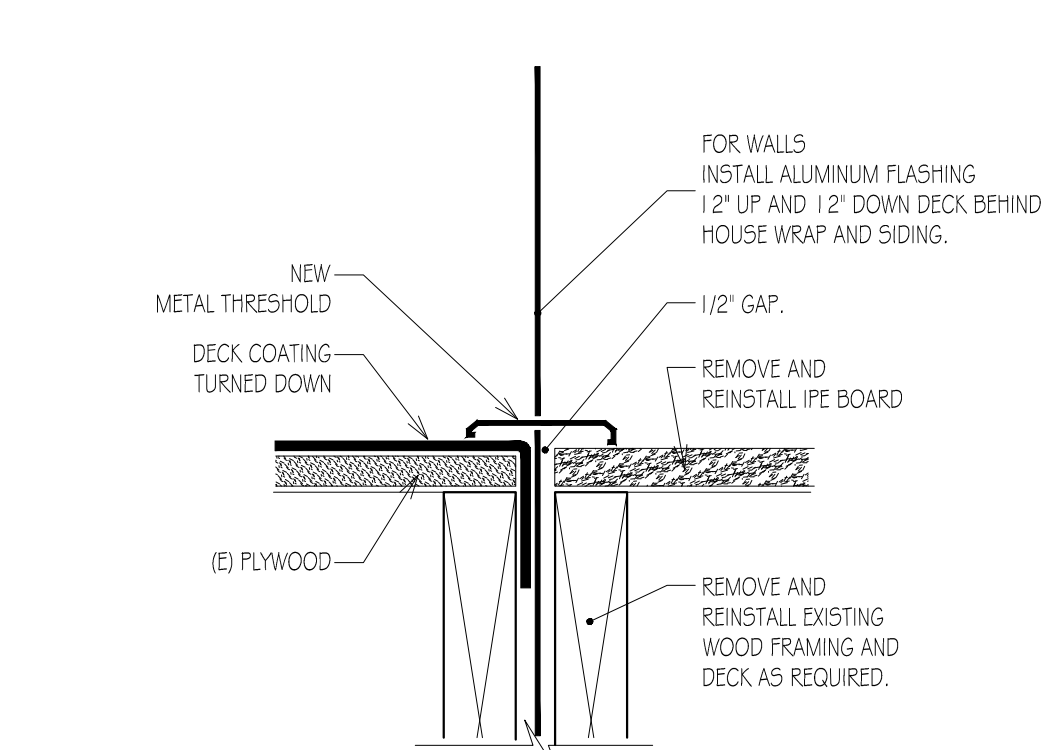
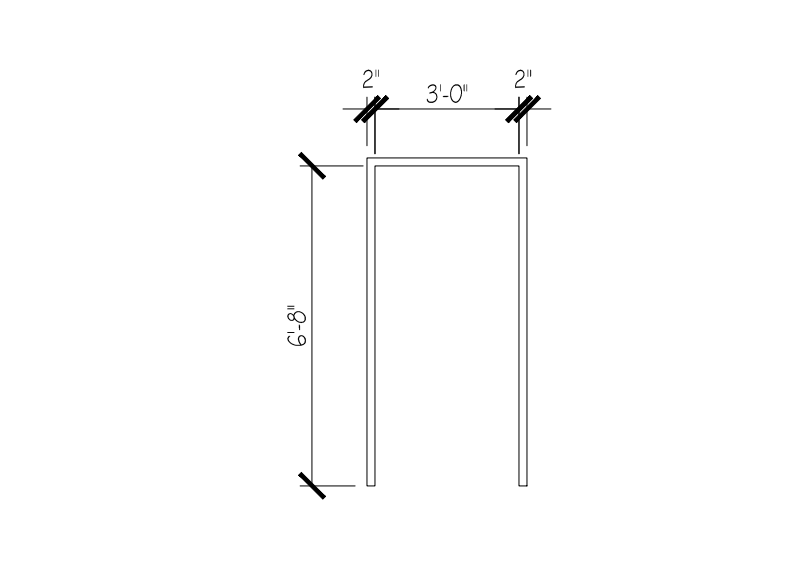
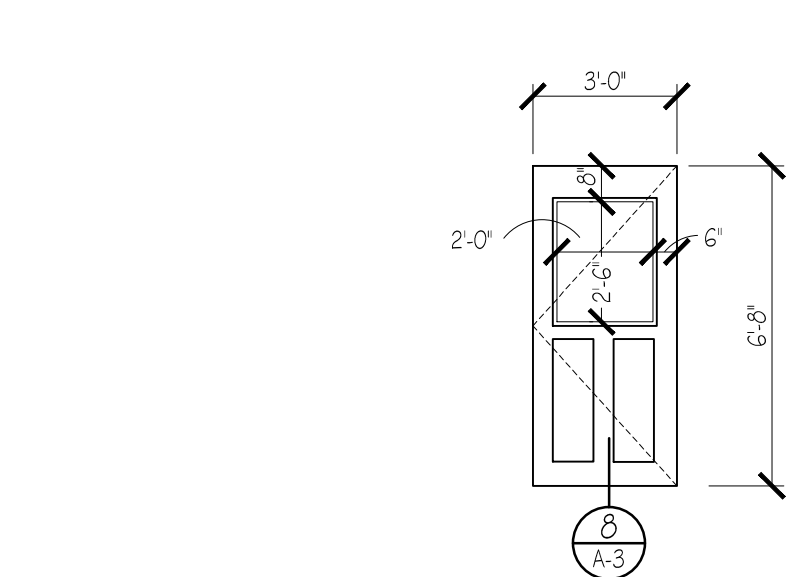
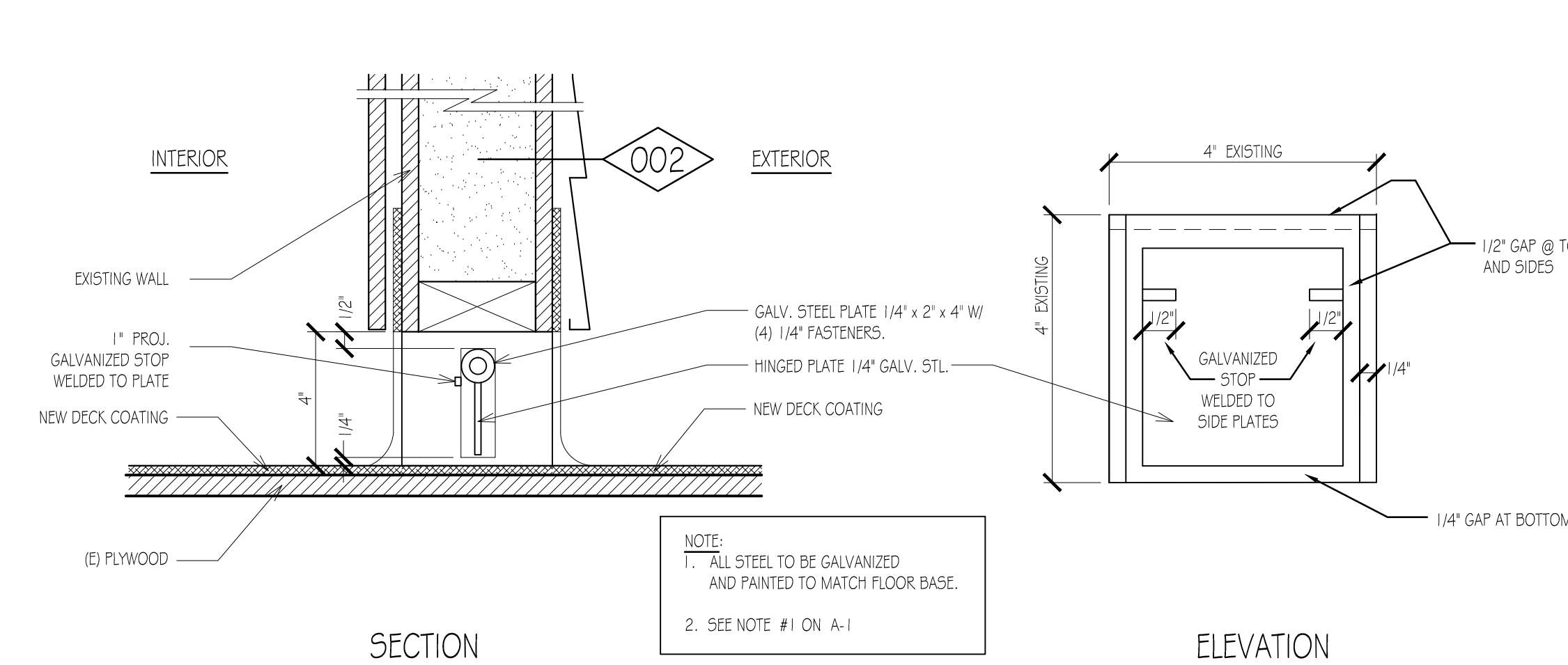
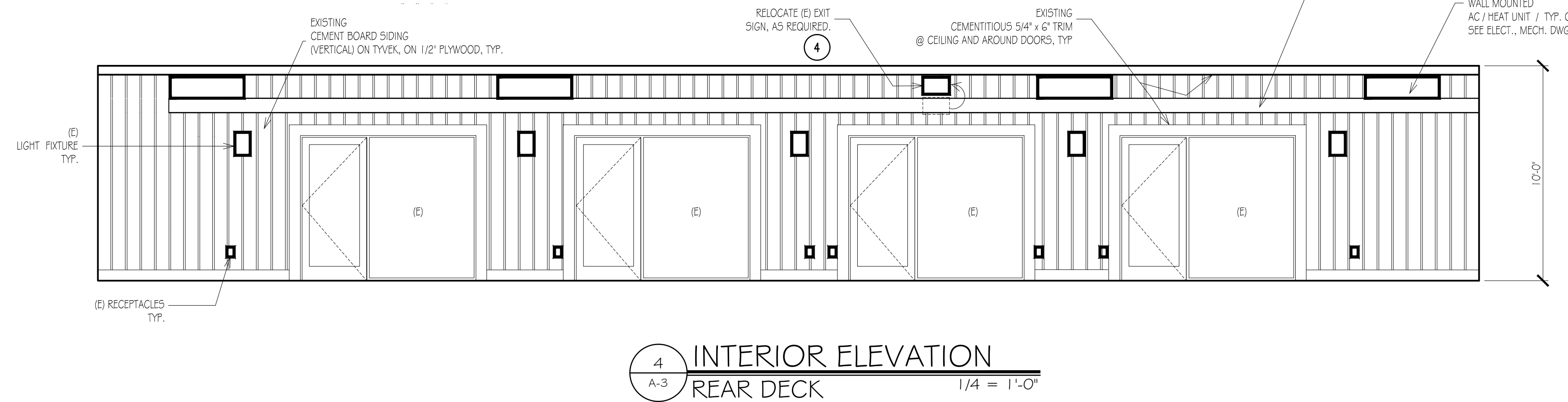
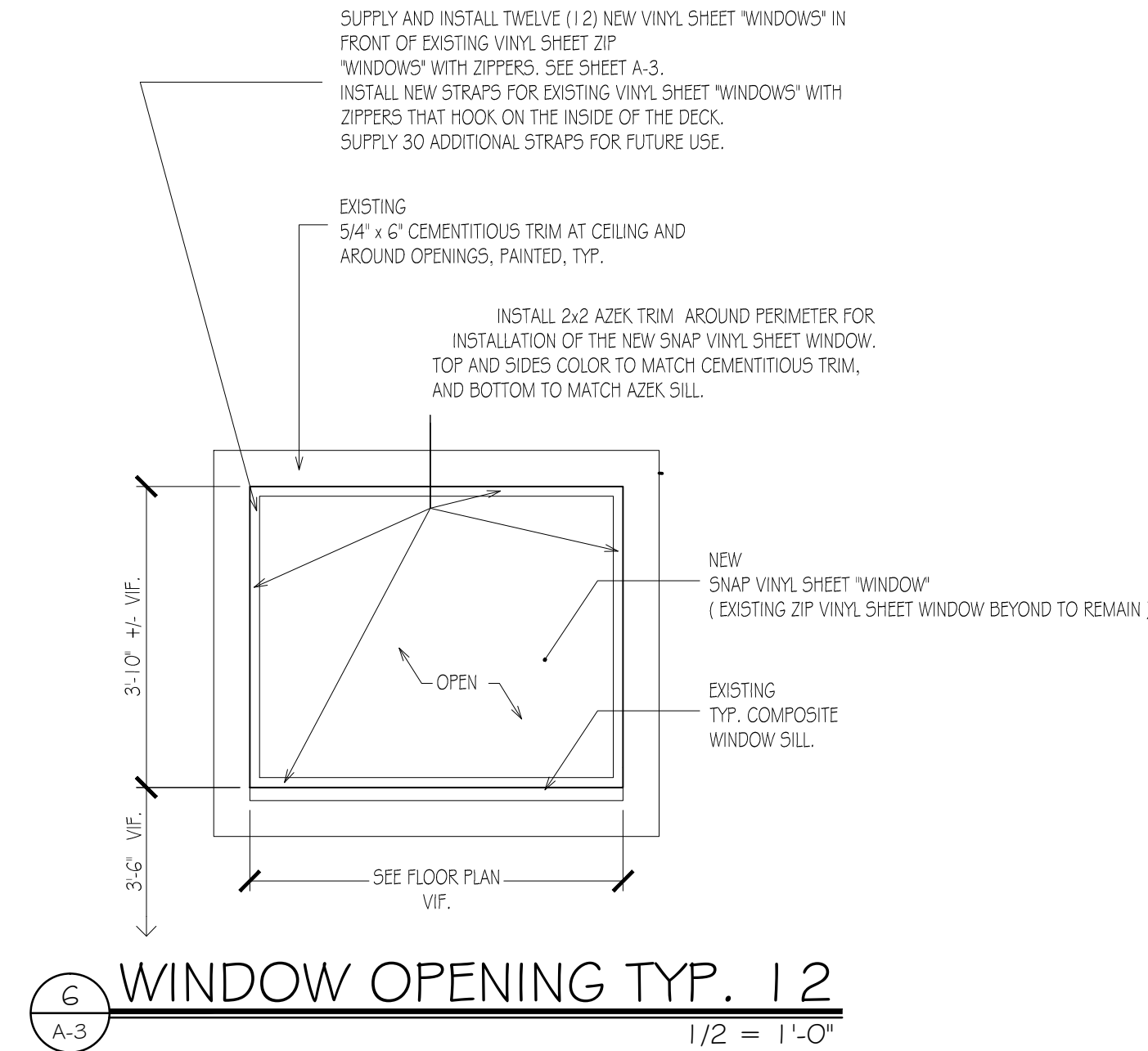
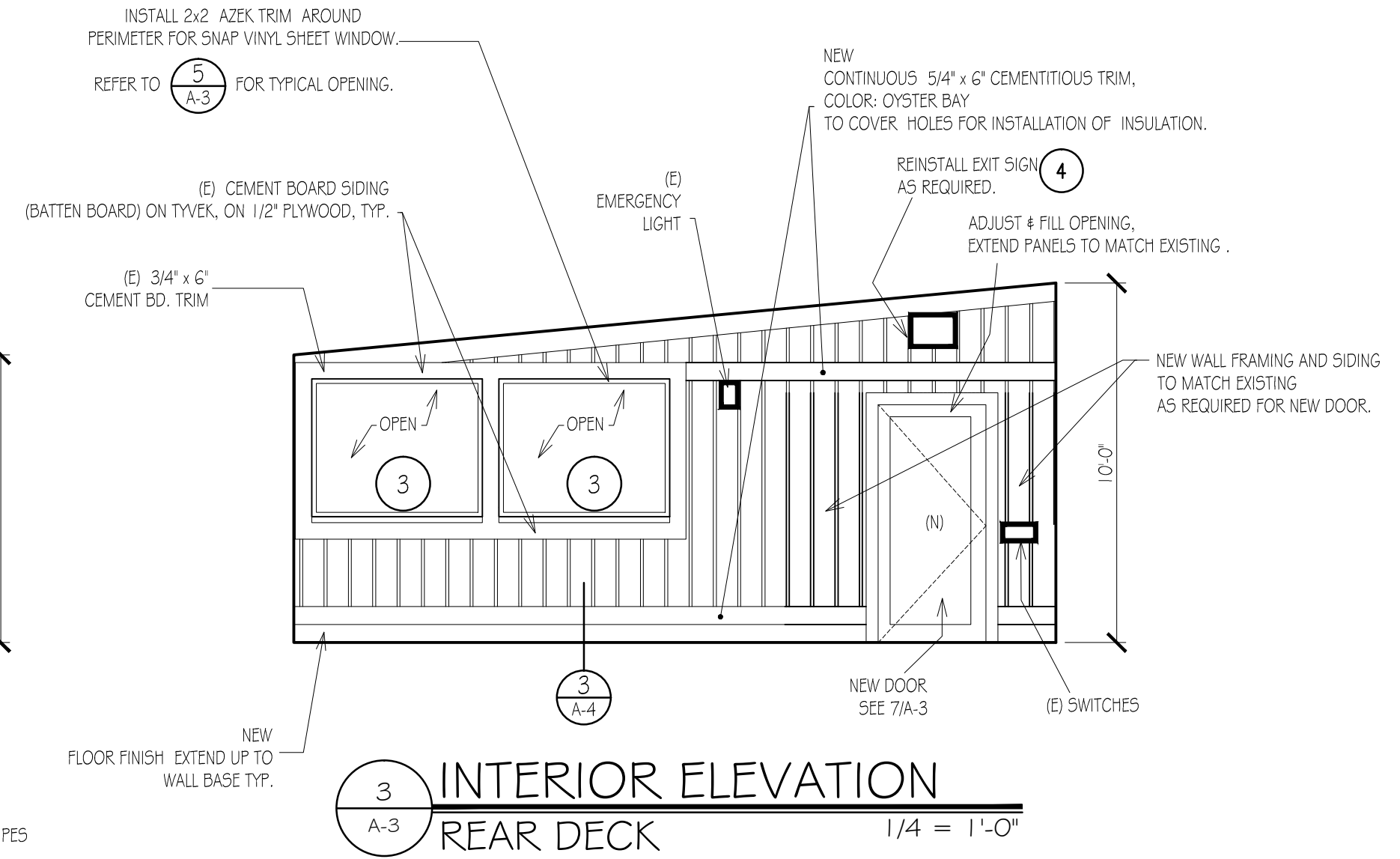
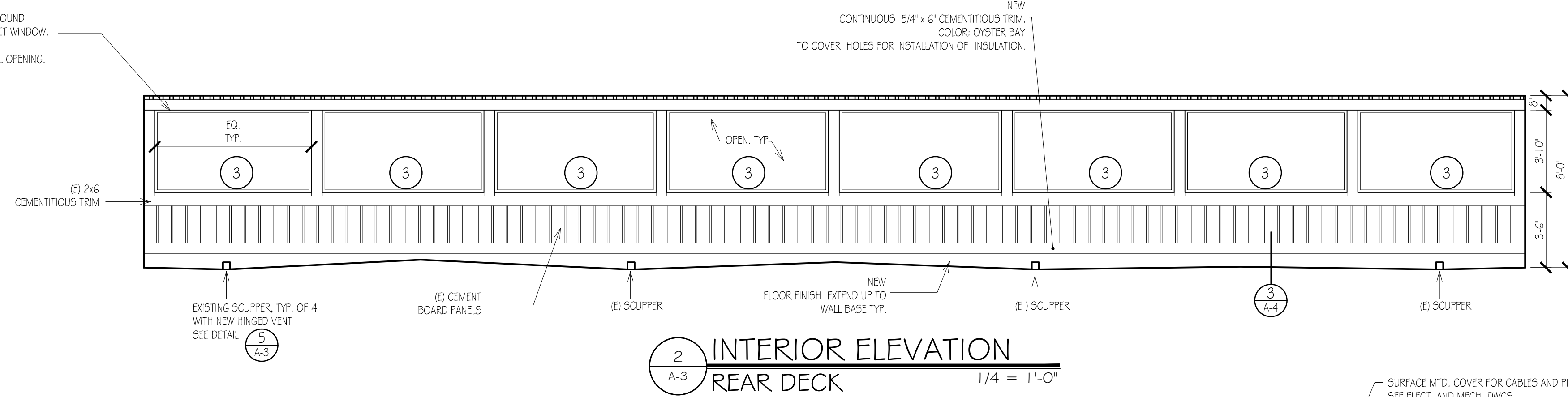
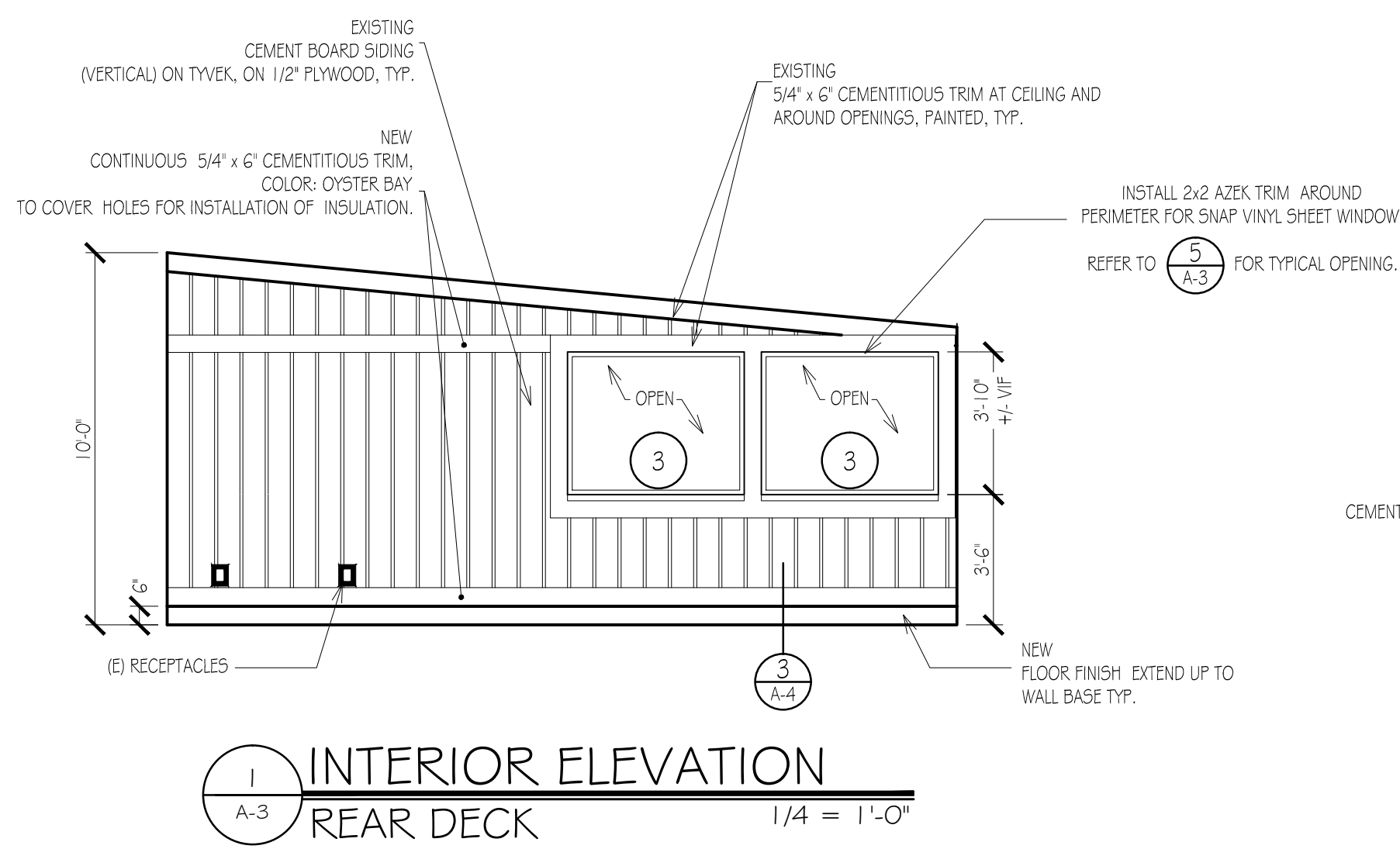
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EXISTING TO REMAIN AS IS UNLESS NOTED OTHERWISE.

FOR ELECTRICAL & MECHANICAL WORK REFER TO CONCORD ENGINEERING DRAWINGS.



SIDING COLOR SCHEDULE :

MFR: JAMES HARDIE SIDING
VERIFY COLORS IN FIELD

P-1	AUTUMN TAN FOR SIDING
P-2	SAIL CLOTH FOR TRIM
P-3	ARCTIC WHITE FOR CEILING & TRIM

NOTE:
CEMENT BOARD PANELS AND TRIM HAVE INTEGRAL COLOR PAINTED BY SIDING MANUFACTURER TO MATCH EXISTING. FIELD PAINTED ONLY AS REQUIRED FOR TOUCH UP.
SIDING TYPE AND TEXTURE TO MATCH EXISTING. VERIFY IN FIELD

- NEW WORK NOTES:**
- INSTALL BLOW-IN INSULATION ON EXTERIOR WALLS. SEE 002
 - INSTALL NEW CONTINUOUS 5/4" x 6" TRIM. TO COVER HOLES FOR WALL INSULATION. COLOR TO MATCH EXISTING.
 - INSTALL 2x2 AZEK TRIM AROUND EXISTING OPENINGS FOR INSTALLATION OF NEW VINYL SHEET WINDOWS. SEE 6 A 1-3
NEW VINYL SHEET WINDOWS, AND STRAPPING FOR EXISTING ZIP WINDOWS SEE 6 J A-3
 - CONTRACTOR TO SUBMIT CERTIFICATION LETTER AND PICTURES OF THE EXISTING EXIT LIGHT FIXTURE RELATED TO ITS WORKING CONDITIONS PRIOR TO REMOVAL AND REINSTALLATION.

VINYL SHEET "WINDOWS" :

- SUPPLY AND INSTALL NEW TWELVE (12) CLEAR VINYL SHEET "WINDOW" UNITS IN FRONT OF EXISTING ZIP VINYL SHEET WINDOW UNITS
 THE NEW VINYL SHEET WINDOW UNITS WILL BE INSTALLED WITH SNAPS.
 CONTRACTORS SHALL INSTALL 2x2 AZEK OR SIMILAR. COMPOSITE TRIM AROUND ENTIRE OPENING FOR THE SNAP DEVICE INSTALLATION.

CONTRACTOR SHALL PROVIDE (12) TWELVE STORAGE BAGS FOR THE NEW VINYL SHEET "WINDOWS" TO BE STORED AWAY DURING SUMMER. THE STORAGE BAGS SHALL BE MANUFACTURED WITH A DURABLE FABRIC WITH A STRAP TO BE HUNG. EACH VINYL SHEET "WINDOW", AND STORAGE BAG SHALL BE NUMBERED. THE NUMBER ONE (1) SHALL START FOR THE WINDOW ADJACENT TO THE EXTERIOR DOOR. CONTRACTOR SHALL INSTALL A SMALL ALUMINUM PLATE WITH THE NUMBER 1 FOR THIS FIRST OPENING IN A LOCATION AS DIRECTED BY THE ARCHITECT IN FIELD.

THE CONTRACTOR SHALL INSTALL NEW ANCHORING STRAPS FOR THE EXISTING TWELVE (12) VINYL SHEET (ZIP) "WINDOWS" TO BE INSTALLED ON THE INSIDE OF THE ROOM WHEN THE WINDOWS ARE OPEN.

CONTRACTOR SHALL SUPPLY 30 ADDITIONAL STRAPS FOR THE EXISTING ZIP WINDOWS FOR FUTURE USE.

THE CONSTRUCTION MATERIALS FOR ALL NEW WINDOWS SHALL BE TO MATCH EXISTING VINYL SHEET GAGE, AND COLOR. RUBBETS AND ALL ANCHORS TO BE STAINLESS STEEL TO MATCH EXISTING.

PROVIDE MOCK-UPS FOR NEW VINYL SHEET WINDOWS, SNAP DEVICE, STORAGE BAG, AND NEW STRAP FOR EXISTING WINDOWS.

THE EXISTING VINYL SHEETS WINDOWS WERE FABRICATED BY CUSTOM UPHOLSTERY CENTER
 422 S. NEW ROAD PLEASANTVILLE NJ.

DOOR / FRAME SCHEDULE														
NOTE: 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION 2. PTD = PAINTED 3. HW = HOLLOW METAL														
DOOR								FRAME						
BUILDING	LOCATION	WIDTH	HEIGHT	THICK	TYPE	GLASS	FINISH MATERIAL	HARDWARE SET	FIRE RATING	THRESHOLD	MAT	FIRE RATING	TYPE	REMARKS
CATERING HALL REAR DECK	D1	(E) 3'-0"	(E) 6'-8"	(E) 1-3/4"	(E)	(E)	(E)	2	-	-	(E)	-	(E)	PAINT (E) DOORS AND INSTALL NEW HOLD OPEN ON FLOOR.
	D2	(E) 3'-0"	(E) 6'-8"	(E) 1-3/4"	(E)	(E)	(E)	1	-	-	(E)	-	(E)	PAINT (E) DOORS AND INSTALL NEW HOLD OPEN ARM IN CLOSER.
	D3	(E) 3'-0"	(E) 6'-8"	(E) 1-3/4"	(E)	(E)	(E)	2	-	-	(E)	-	(E)	PAINT (E) DOORS AND INSTALL NEW HOLD OPEN ON FLOOR.
	D4	(E) 3'-0"	(E) 6'-8"	(E) 1-3/4"	(E)	(E)	(E)	2	-	-	(E)	-	(E)	PAINT (E) DOORS AND INSTALL NEW HOLD OPEN ON FLOOR.
	D5	3'-0"	6'-8"	1-3/4"	I	TEMP. INSULATED	HM/PTD	3	-	METAL	HM/PTD	-	I	NEW DOOR TO MATCH EXISTING AT MAIN HALL SIDE ENTRANCE. COMPLETELY WEATHERSTRIPPED.

DRAWING TITLE
 INTERIOR ELEVATIONS
 SECTION - DETAIL

PROJECT No. # 17-A1 Lenape Park - Rear Deck
 DRAWING No. A-3

NO.	DATE	REVISION
1	07/10/19	ISSUED FOR BID
2	07/03/19	PROGRESS
3	06/24/19	PROGRESS
4	06/11/19	PROGRESS
5	05/21/19	PRELIMINARY

Renovations to:
LENAPE PARK EAST
 Catering Hall - Deck

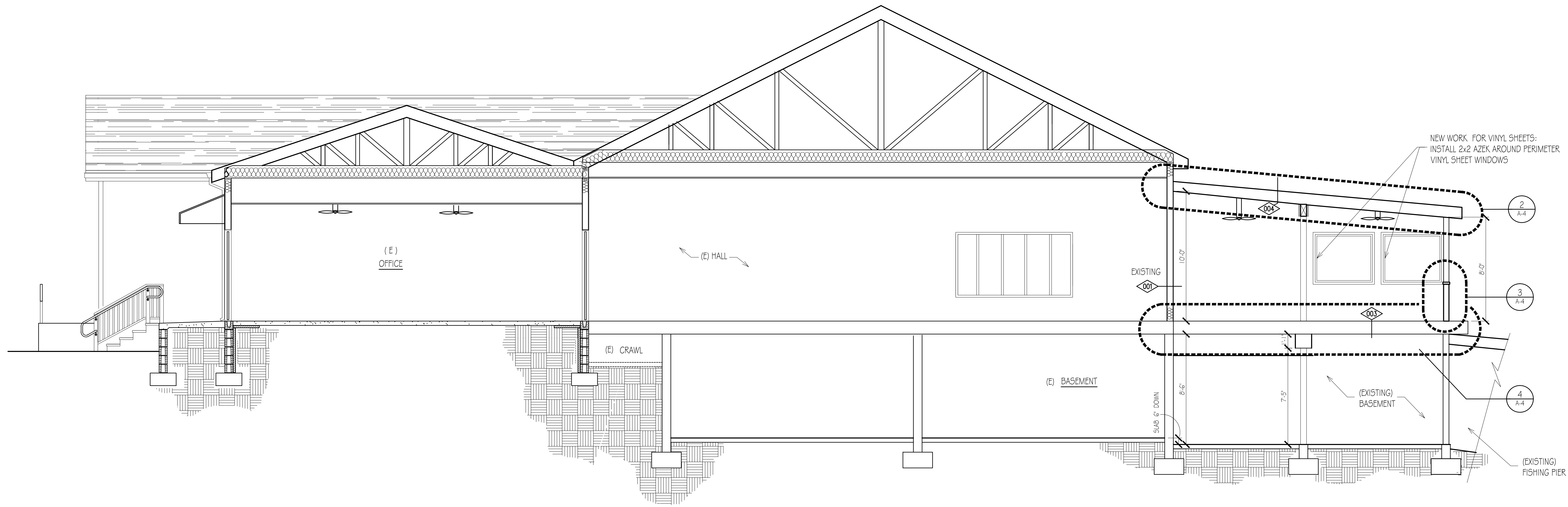
753 Park Road
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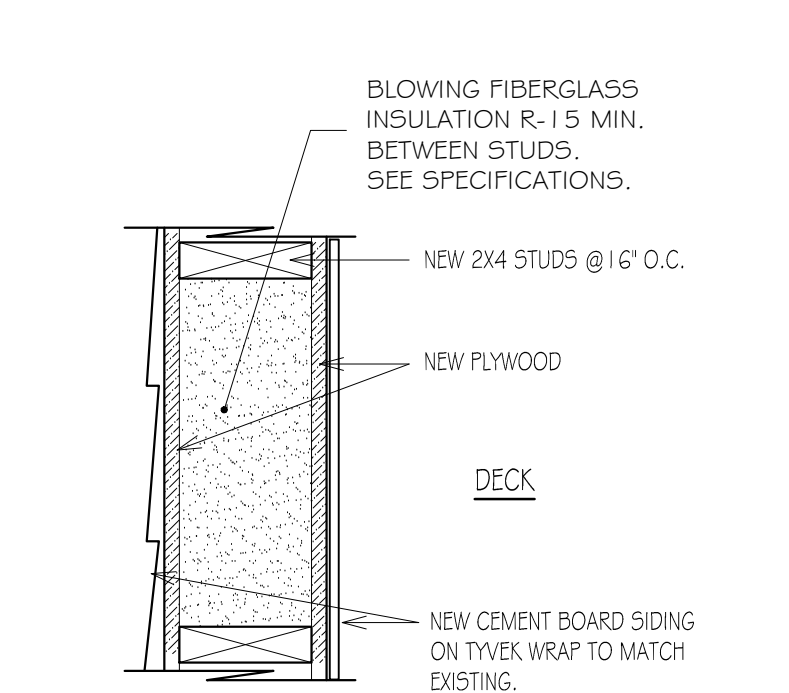
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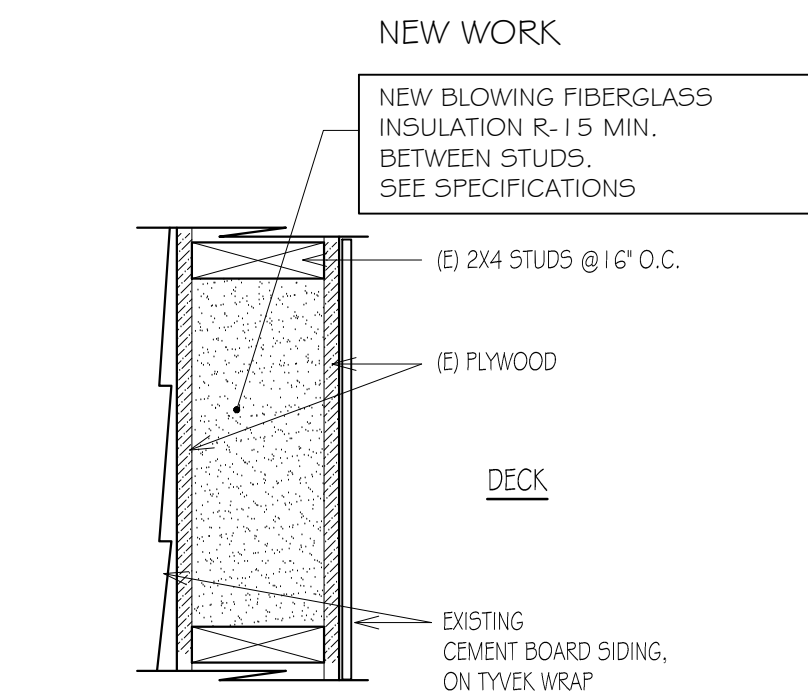
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SECTION
REAR DECK
1/4" = 1'-0"

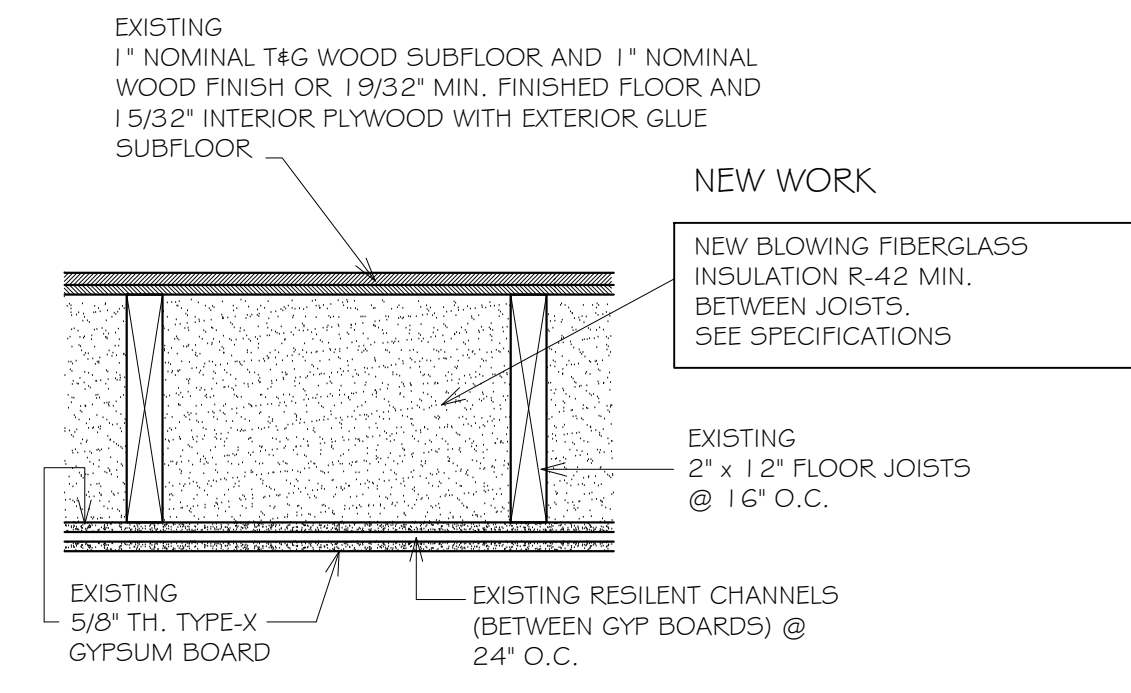


001 NEW WALL TO FILL DOOR OPENING



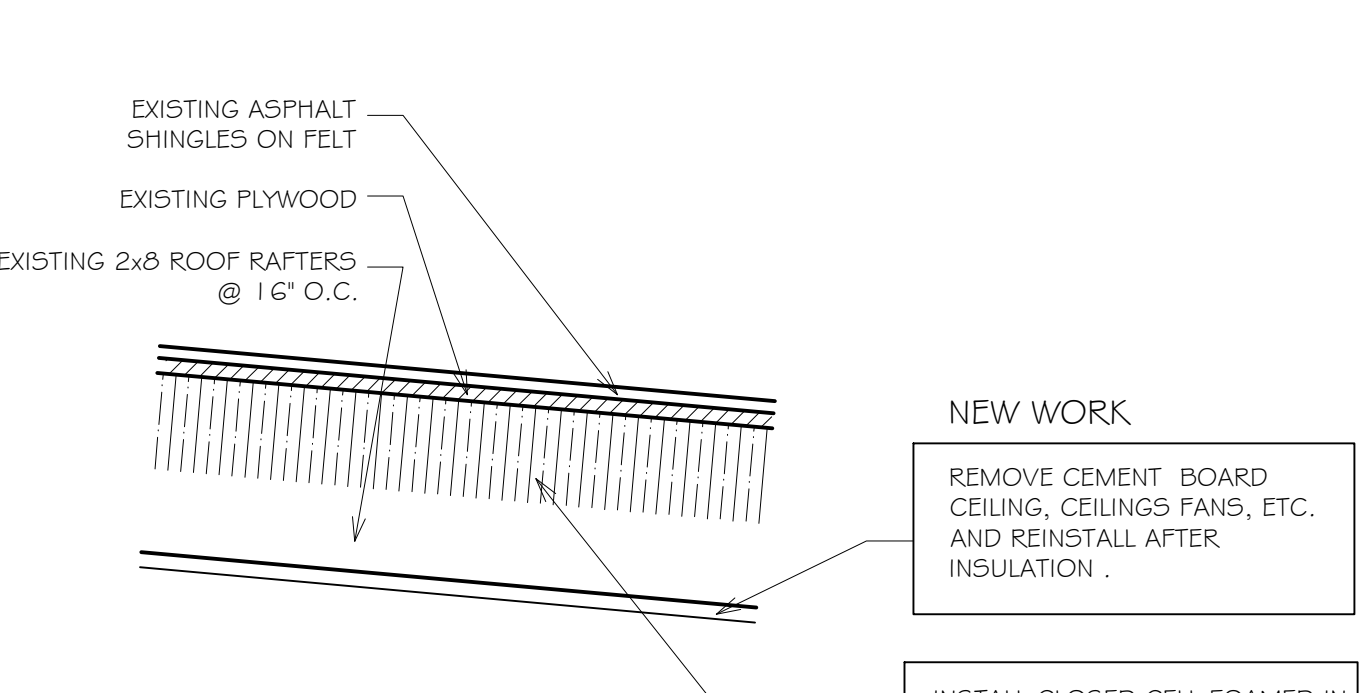
002 EXISTING EXTERIOR WALLS

NOTE:
THE ONLY NEW WORK IS THE INSTALLATION OF BLOW-IN INSULATION BETWEEN THE STUDS, THE OPENING AND FILING OF HOLES IN THE EXISTING CEMENT BOARD SIDING AS REQUIRED FOR THE INSTALLATION OF INSULATION, AND THE INSTALLATION OF CONTINUOUS CEMENT BOARD TRIM TO HIDE THE HOLES. REFER TO 3A-4 AND A-3 FOR MORE INFORMATION.



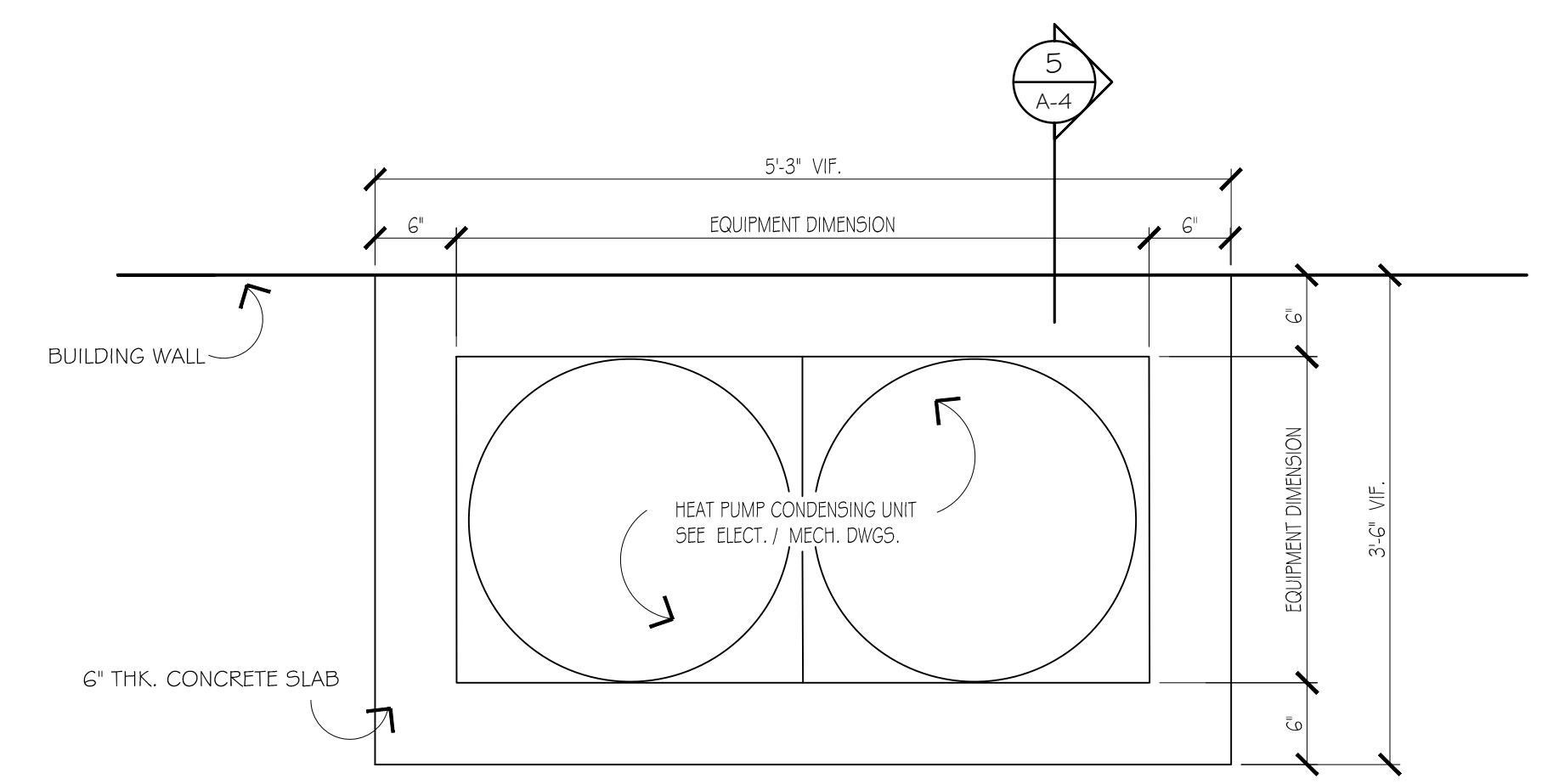
003 EXISTING FLOOR / CEILING ASSEMBLY BETWEEN DECK AND BASEMENT
UL DESIGN L505
2 HOUR

NOTE:
THE ONLY NEW WORK IS THE INSTALLATION OF BLOW-IN INSULATION BETWEEN JOISTS AND THE REMOVAL AND INSTALLATION OF THE TWO LAYERS OF GYPSUM BOARD AS REQUIRED FOR THE INSTALLATION OF INSULATION. REFER TO 3A-2 FOR THE GYPSUM BOARD EXTENT. SEE DETAIL 4B-4 FOR MORE INFORMATION.

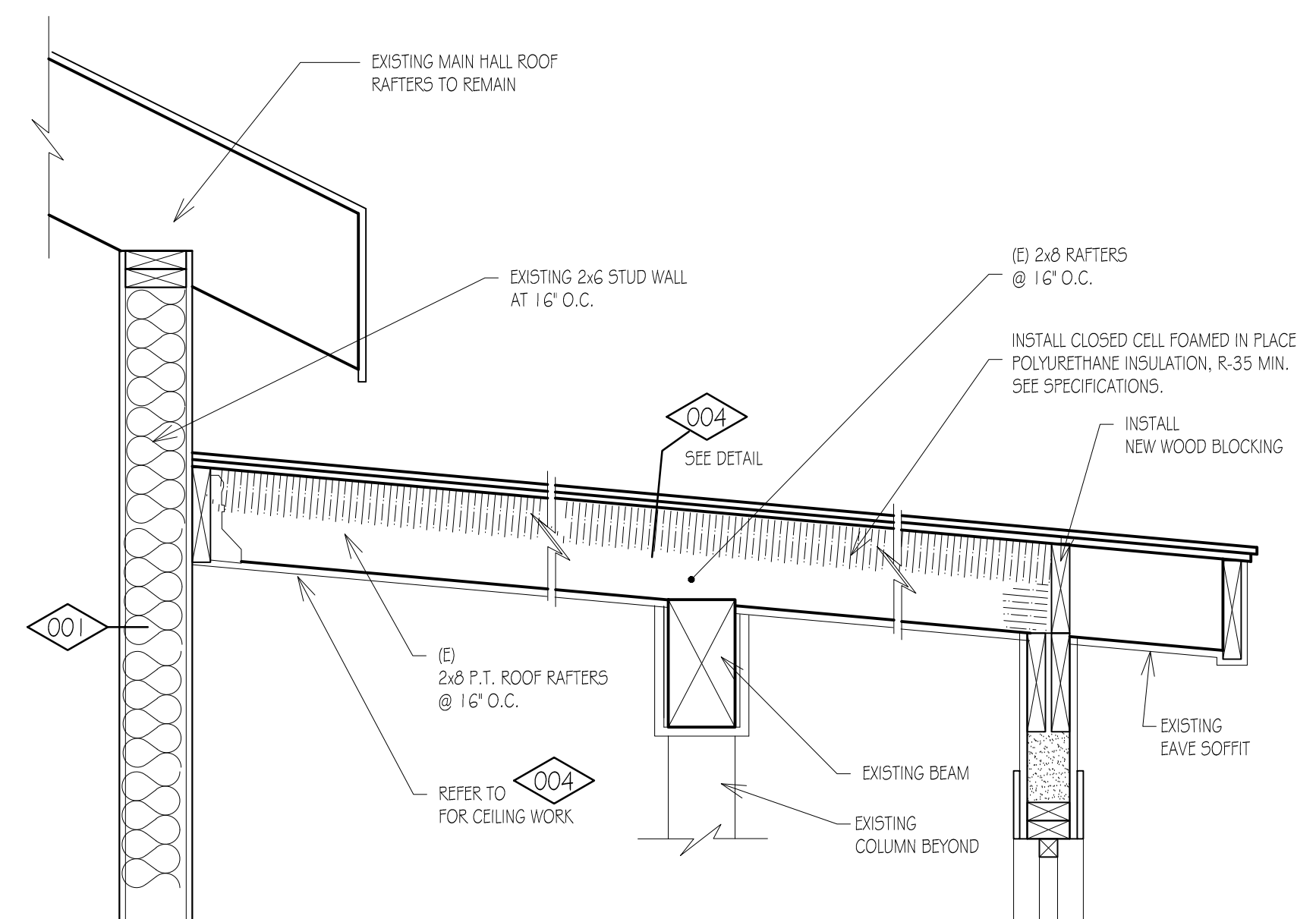


004 ROOF / CEILING DETAIL

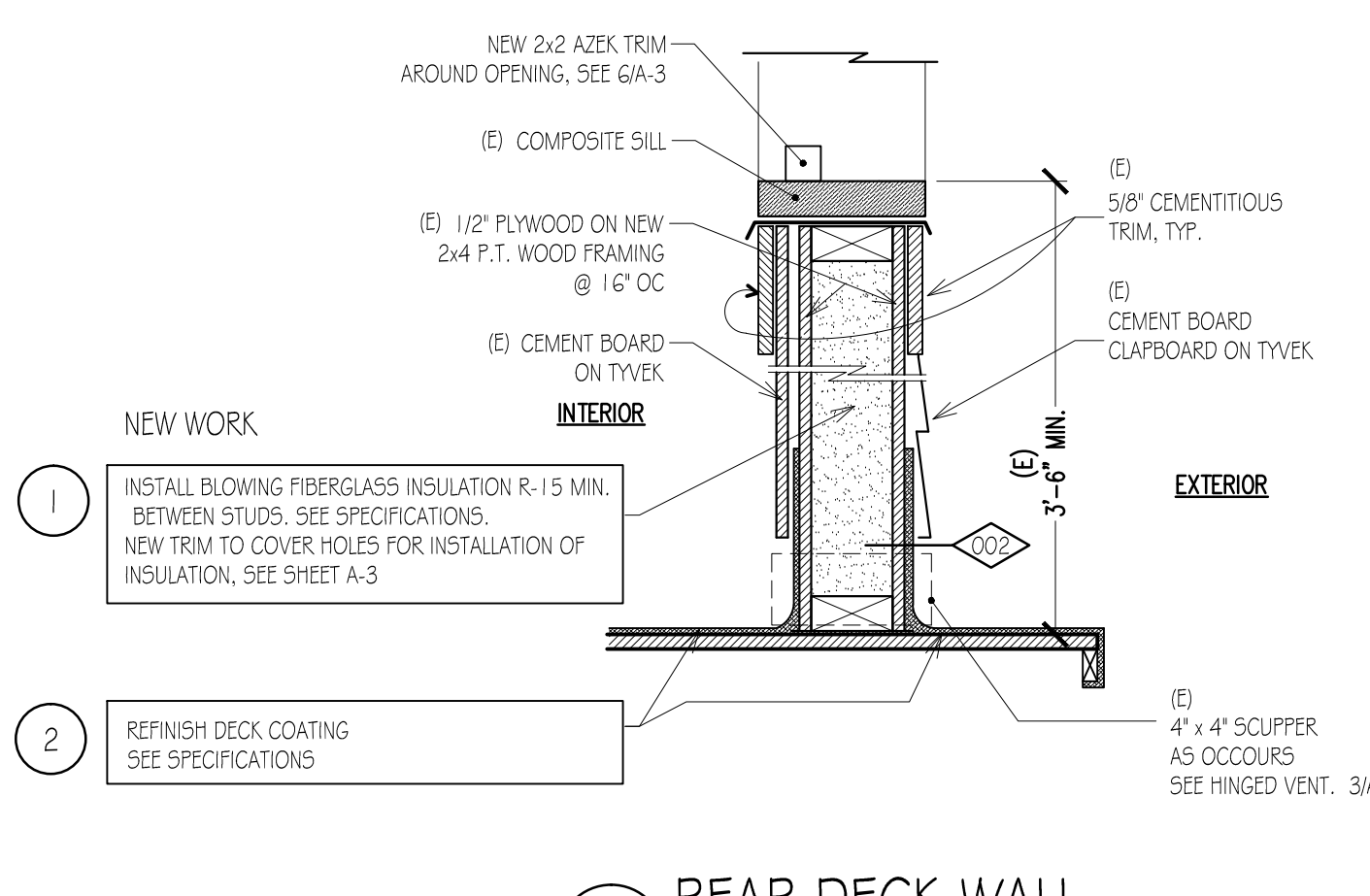
NEW WORK
REMOVE CEMENT BOARD CEILING, CEILING FANS, ETC. AND REINSTALL AFTER INSULATION.
INSTALL CLOSED CELL FOAMED IN PLACE POLYURETHANE INSULATION, R-35 MIN. SEE SPECIFICATIONS.



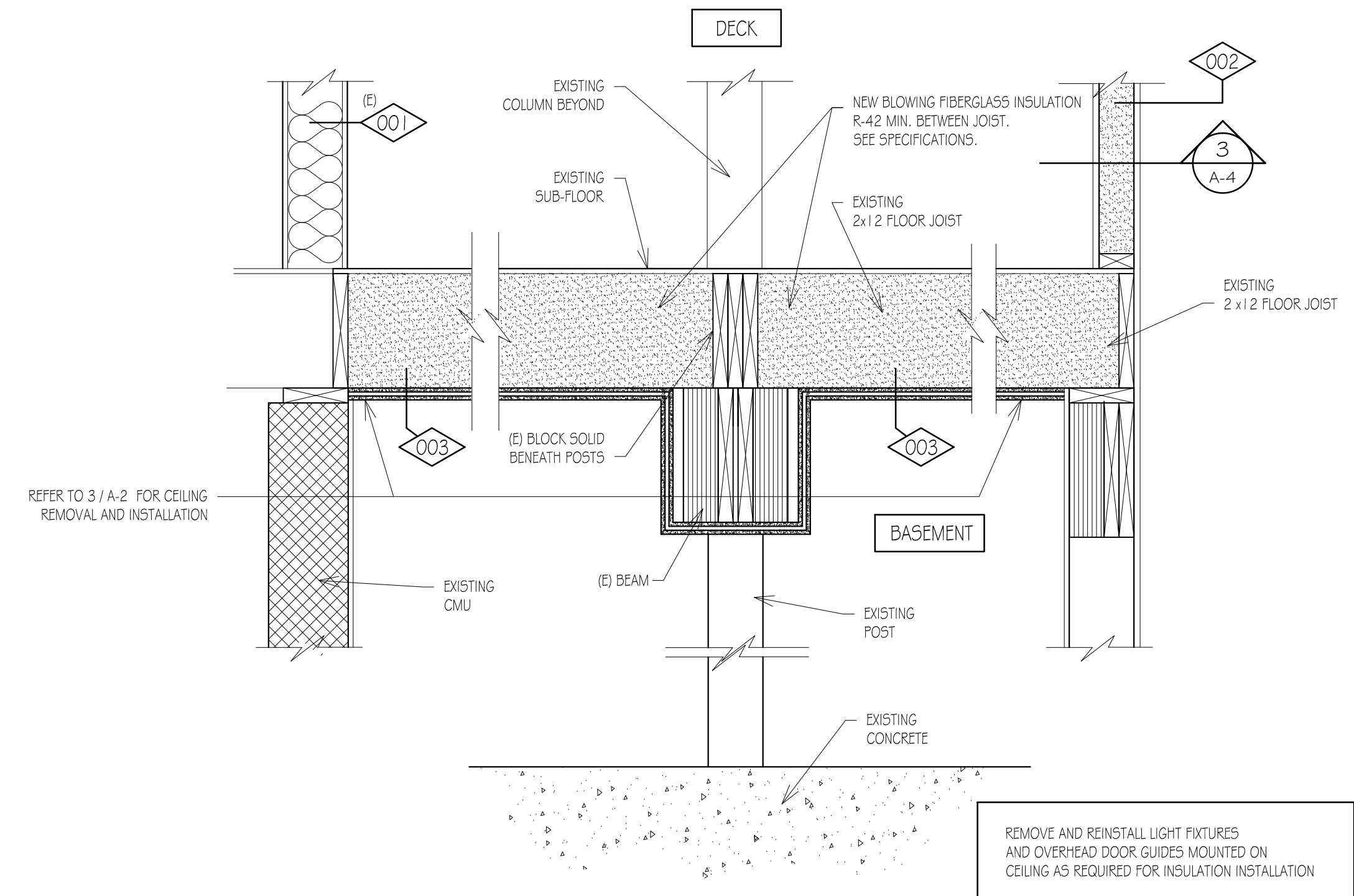
EQUIPMENT PLATFORM PLAN
1" = 1'-0"



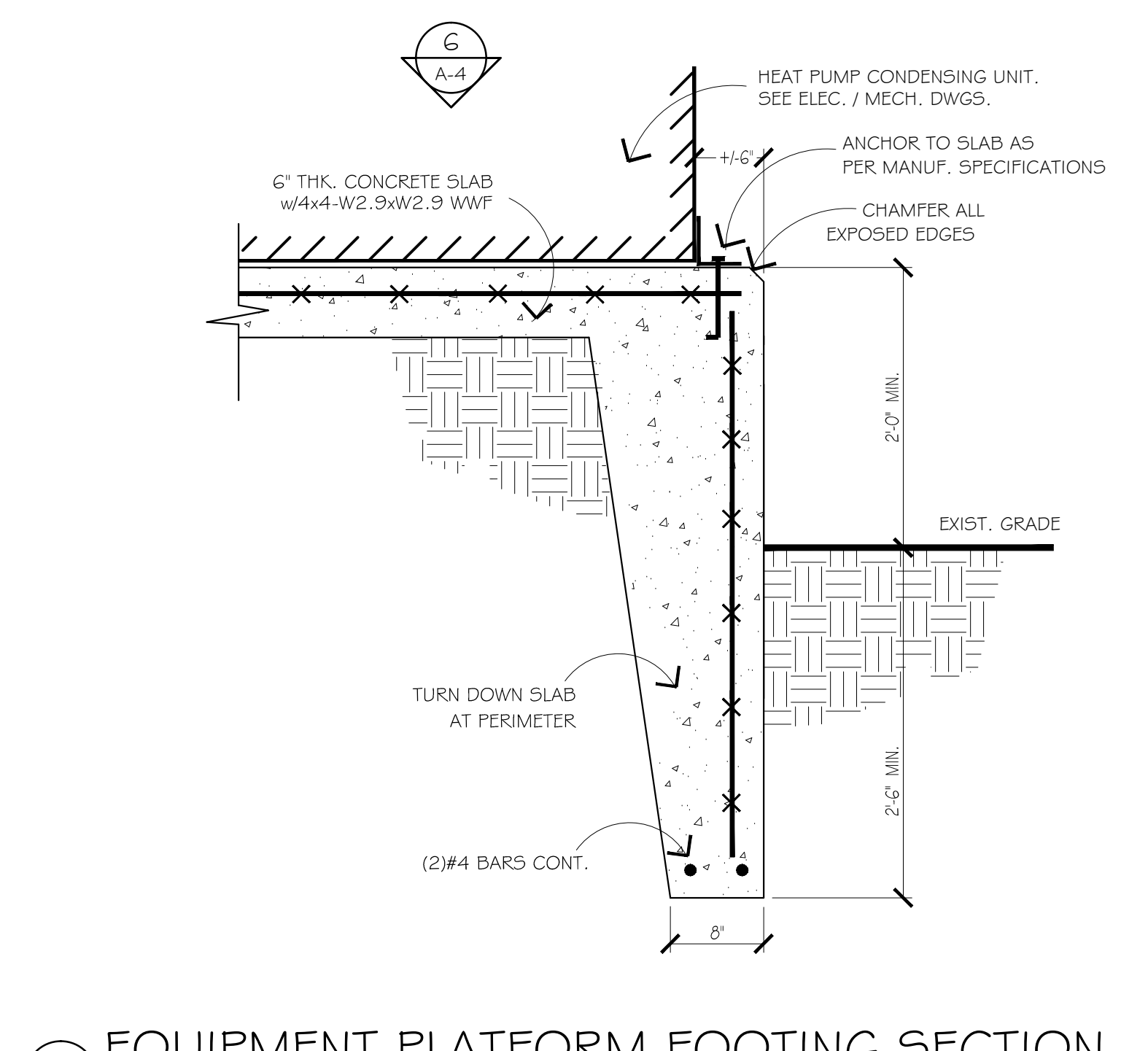
2 ROOF SECTION
1" = 1'-0"



3 REAR DECK WALL
1-1/2" = 1'-0"



4 SECTION FLOOR
1" = 1'-0"



5 EQUIPMENT PLATFORM FOOTING SECTION
1" = 1'-0"

DRAWING TITLE		SECTION & DETAILS	
PROJECT No. # 17-A1 - Lenape Park - Rear Deck		DRAWING No. A-4	

ISSUED FOR BID	07/10/19	PROGRESS	07/03/19
ISSUED FOR PERMITS	06/24/19	PROGRESS	06/24/19
ISSUED FOR CONSTRUCTION	06/24/19	PROGRESS	06/24/19
ISSUED FOR ARCHITECT REVIEW	05/21/19	PRELIMINARY	05/21/19
DATE		REVISION	

Renovations to:
LENAPE PARK EAST
Catering Hall - Deck

753 Park Road
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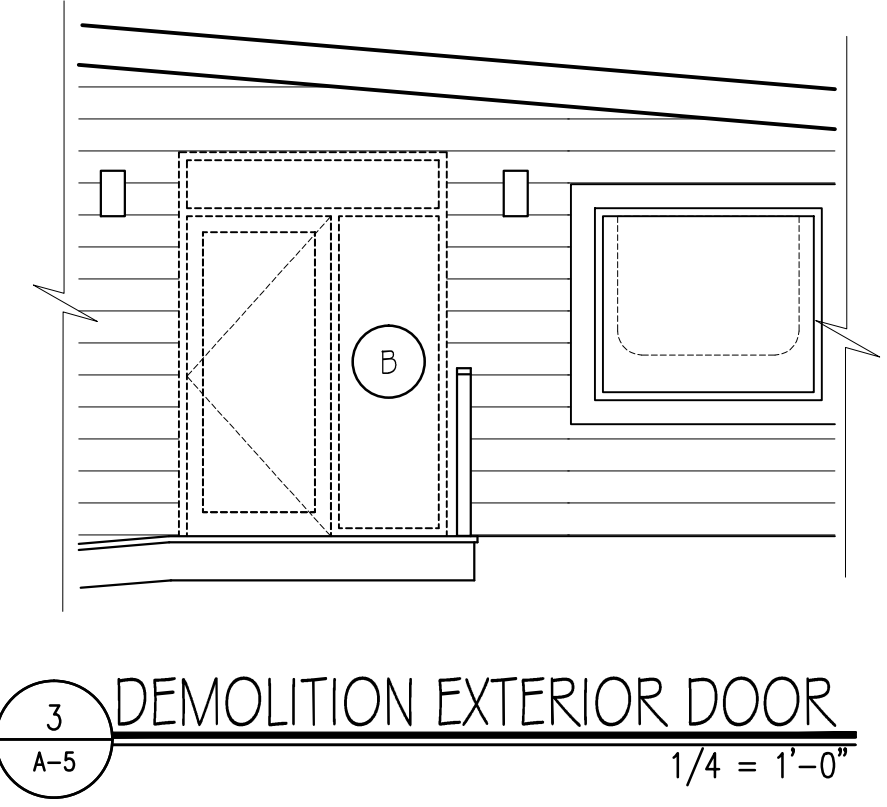
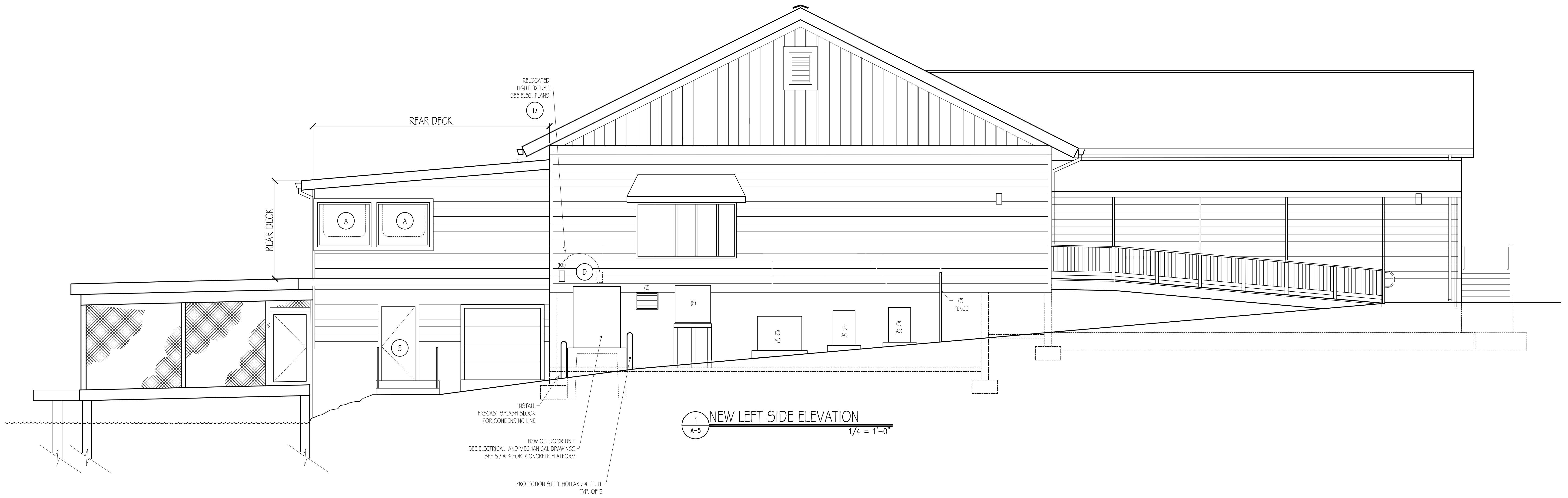
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LEGEND :

- (A) EXISTING VINYL SHEET "WINDOWS" WITH ZIPPERS SEE GA-3 FOR ADDITIONAL VINYL SHEET WINDOWS
- (B) REMOVE EXISTING DOOR AND ADJUST OPENING TO PLACE A NEW 3'-0" x 6'-8" DOOR AND FRAME.
- (C) NEW DOOR SEE 7/A-3, WALL FRAMING AND SIDING.
- (D) CONTRACTOR TO SUBMIT CERTIFICATION LETTER AND PICTURES OF THE EXISTING LIGHT FIXTURE RELATED TO ITS WORKING CONDITIONS PRIOR TO REMOVAL AND REINSTALLATION.



DRAWING TITLE
EXISTING
RIGHT & LEFT SIDE ELEVATIONS

PROJECT No.
17.41 Lenape Park - Rear Deck

DRAWING No.
A-5

No.	DATE	REVISION
1	07/10/19	ISSUED FOR BID
2	07/03/19	PROGRESS
3	06/24/19	PROGRESS
4	06/11/19	PROGRESS
5	05/21/19	PRELIMINARY

Renovations to:
LENAPE PARK EAST
Catering Hall - Deck

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LEGEND :
 A EXISTING VINYL SHEET WINDOWS WITH ZIPPERS
 SEE 6/A-3 FOR ADDITIONAL VINYL SHEET WINDOWS

1 NEW REAR ELEVATION
 A-6 1/4" = 1'-0"

DRAWING TITLE	
EXISTING REAR ELEVATIONS	
PROJECT No.	# 17.41 Lenape Park - Rear Deck
DRAWING No.	A-6

No.	DATE	REVISION
A	07/10/19	ISSUED FOR BID
A	07/03/19	PROGRESS
A	06/24/19	PROGRESS
A	06/11/19	PROGRESS
A	05/21/19	PRELIMINARY
A		REVISION

Renovations to:
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 Catering Hall - Deck
 753 Park Road
 Block: 588 - Lot: 75.01
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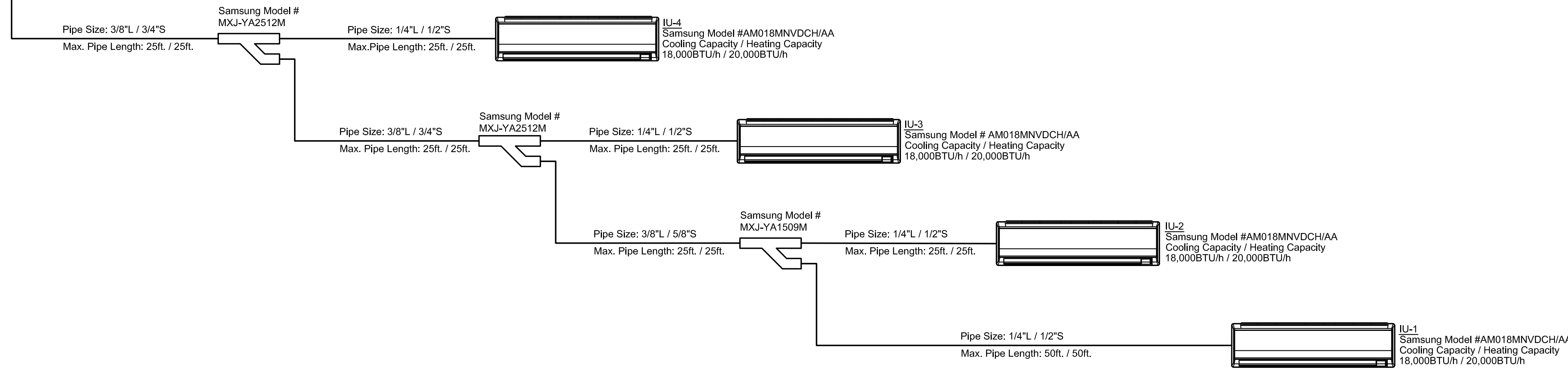
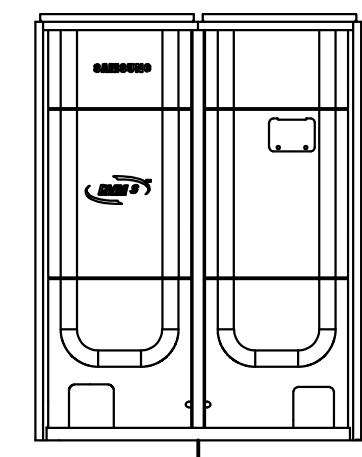
HEAT PUMP SCHEDULE

INDOOR UNIT											OUTDOOR UNIT											
UNIT	SERVING	MFR	MODEL	STYLE	QUANTITY	AIRFLOW RATE (T/M/A)	TOTAL COOLING (BTU/H)	TOTAL HEATING (BTU/H)	V/PH/HZ	NOMINAL RUNNING CURRENT (A)	MOCP (A)	WEIGHT (LBS)	UNIT	MODEL	TON	COOLING CAPACITY (MBH)	HEATING CAPACITY (MBH)	EER	V/PH/HZ	MCA	MOCP	NOTES
IU-1	DECK	SAMSUNG	AM018MNVDCH/AA	WALL MOUNT	1	417/353/290	18,000	20,000	240/1/60	0.3	15	33	OU-1	AM072KXVTFH/AA	6	72	81	11.3	240/3/60	50	60	ALL NOTES
IU-2	DECK	SAMSUNG	AM018MNVDCH/AA	WALL MOUNT	1	417/353/290	18,000	20,000	240/1/60	0.3	15	33										ALL NOTES
IU-3	DECK	SAMSUNG	AM018MNVDCH/AA	WALL MOUNT	1	417/353/290	18,000	20,000	240/1/60	0.3	15	33										ALL NOTES
IU-4	DECK	SAMSUNG	AM018MNVDCH/AA	WALL MOUNT	1	417/353/290	18,000	20,000	240/1/60	0.3	15	33										ALL NOTES

- PROVIDE INDOOR UNITS WITH:
1. ALL NECESSARY MANUFACTURER'S MOUNTING BRACKETS, HARDWARE, ETC.
 2. INTEGRAL DRAIN PUMP.
 3. ELECTRO-STATIC, WASHABLE FILTER ACCESSIBLE FROM FRONT/TOP OF UNIT.
 4. WALL MOUNTED PROGRAMMABLE THERMOSTAT
 5. PROVIDE MOTOR RATED ELECTRICAL DISCONNECT SWITCH FOR EACH INDOOR UNIT.

- PROVIDE OUTDOOR UNITS WITH:
1. DETAILED REFRIGERANT PIPING DIAGRAMS PREPARED BY MANUFACTURER INCLUDING SIZING, LENGTHS AND INCLUDE ALL RELATED ACCESSORIES, INCLUDING MODE CHANGE UNITS.
 2. INTEGRAL CONTROLLER.
 3. INVERTER DRIVEN, DC SCROLL TYPE COMPRESSORS W/SOFT START
 4. LOW AMBIENT (0°F) OPERATION CAPABILITY.
 5. PROVIDE CONCRETE PLATFORM/PAD WITH TOP SET TO MINIMUM FEMA FLOOD PLAIN ELEVATION

OU-1
Samsung Model #AM072KXVTFH/AA
Cooling Capacity / Heating Capacity
72,000BTU/h / 81,000BTU/h



REFRIGERANT PIPING DETAIL

NO SCALE

- NOTES:
1. PROVIDE NEW OUTDOOR HEAT PUMP UNIT, REFRIGERANT PIPE, DRIER, THERMAL EXPANSION VALVE AND ALL APPURTENANCES AND DEVICES RECOMMENDED BY HEAT PUMP MANUFACTURER FOR A COMPLETE INSTALLATION. ALL REFRIGERANT PIPE SHALL BE SIZED PER HEAT PUMP MANUFACTURER'S RECOMMENDATIONS.
 2. PROVIDE BUILT-UP CONCRETE PLATFORM TO SUPPORT NEW OUTDOOR HEAT PUMP. TOP OF PLATFORM SHALL BE AT THE MINIMUM FEMA BASE FLOOD ELEVATION FOR THE PROJECT AREA, BUT NO LESS THAN 6" ABOVE GRADE. CONTRACTOR IS RESPONSIBLE FOR HAVING THE EXISTING SITE ELEVATION SURVEYED AND CONFIRMED PRIOR TO INSTALLATION OF NEW OUTDOOR UNIT.
 3. CONTRACTOR SHALL BOLT OUTDOOR UNIT TO ITS NEW CONCRETE PLATFORM. CONTRACTOR SHALL PROVIDE STAINLESS STEEL HARDWARE FOR UNIT MOUNTING.

PROVIDE NEW OUTDOOR HEAT PUMP UNIT, (RATED FOR LOW-AMBIENT CONDITIONS), WITH ALL NECESSARY REFRIGERANT DRIER, THERMAL EXPANSION VALVES, SOLENOID VALVES, CONTROLS, ETC. PROVIDE ALL OTHER NECESSARY APPURTENANCES, REFRIGERANT PIPING, FITTINGS, ETC., WHICH ARE REQUIRED BY HEAT PUMP MANUFACTURER FOR A PROPER AND COMPLETE INSTALLATION. ALL REFRIGERANT PIPING SHALL BE SIZED AND INSTALLED PER HEAT PUMP MANUFACTURER'S RECOMMENDATIONS. INSTALL HEAT PUMP IN CONFIGURATION WHERE NON-VENTILATED SIDE IS 4-INCHES FROM BUILDING WALL.

PROVIDE NEW ELEVATED CONCRETE PLATFORM EXTENDING 6" BEYOND ALL SIDES OF OU-1. SET PLATFORM AN OU-1 SO THAT UNIT MEETS ALL MANUFACTURER'S RECOMMENDED WORKING AND SERVICE CLEARANCES. INSTALL TWO (2) NEW 4" DIAMETER, 36" HIGH CONCRETE ENCASED BOLLARDS AT EACH CORNER OF CONCRETE PLATFORM.

EXISTING EXHAUST LOUVER UNDER WINDOW

3/4" CONDENSATE PIPED DOWN TO AND DISCHARGED ONTO NEW CONCRETE SPLASH BLOCK.

MOUNT INDOOR UNIT HIGH ON WALL AT ELEVATION RECOMMENDED BY UNIT MANUFACTURER. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO CONSTRUCTION. (TYPICAL OF 4)

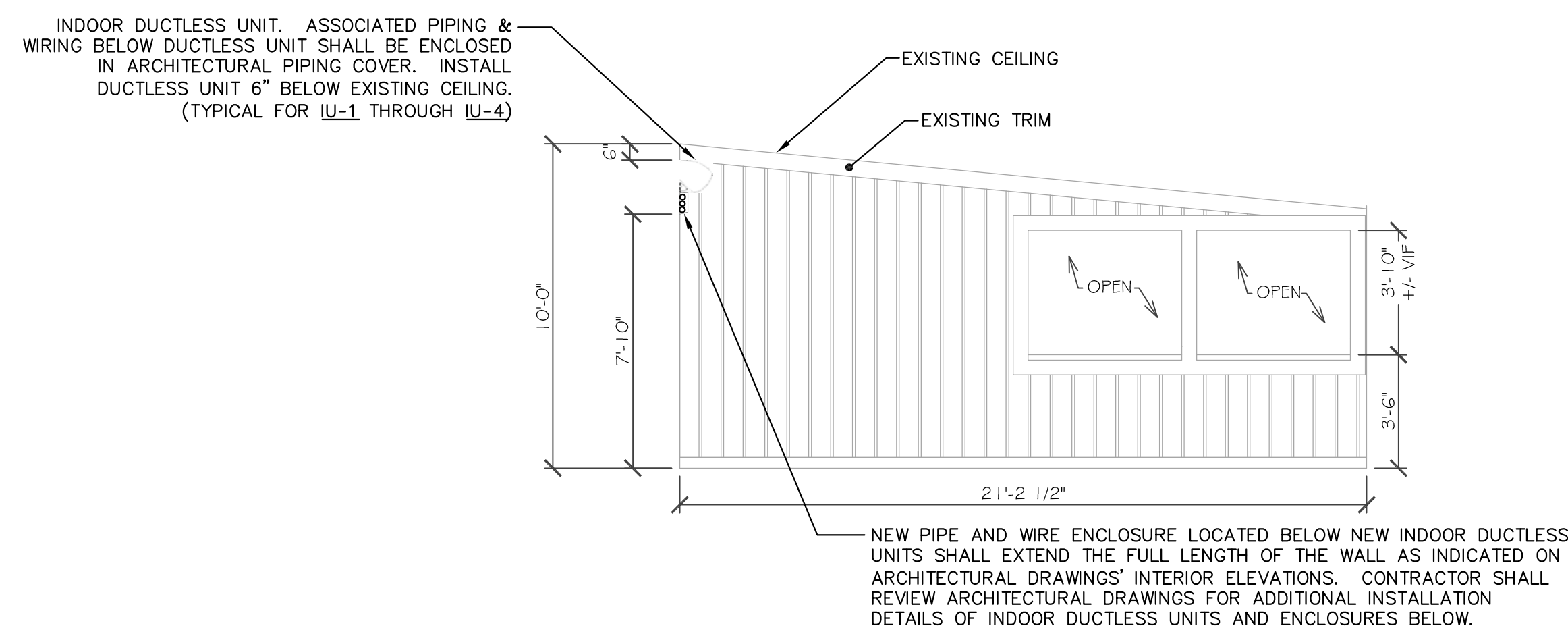
LIQUID & SUCTION REFRIGERANT LINES. SEE REFRIGERANT PIPING DIAGRAM FOR PIPE SIZES, FITTINGS, ETC. (TYPICAL)

NOTE:
ALL OUTDOOR WIRING, CONDENSATE AND REFRIGERANT PIPING EXPOSED TO VIEW SHALL BE CONCEALED WITH FORTRESS SERIES PROFESSIONAL GRADE LINESSET COVERS MANUFACTURED BY "ARTEC" OR APPROVED EQUAL. ALL INDOOR WIRING, CONDENSATE AND REFRIGERANT PIPING EXPOSED TO VIEW SHALL BE CONCEALED WITH DECORATIVE PVC LINE COVER KITS FOR MINI SPLIT AIR CONDITIONERS AND HEAT PUMPS, (MODEL WYS-LCVR-KIT), SUPPLIED FROM "PIONEER MINI SPLIT STORE", OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE ALL NECESSARY ACCESSORIES REQUIRED FOR A PROPER AND COMPLETE INSTALLATION. COORDINATE ALL COVERS' COLORS WITH ARCHITECT.

WALL-MOUNTED T'STAT INTERLOCKED TO CONTROL IU-3 & IU-4. PROVIDE LOCKING LEXON COVER. MOUNT 48" A.F.F.

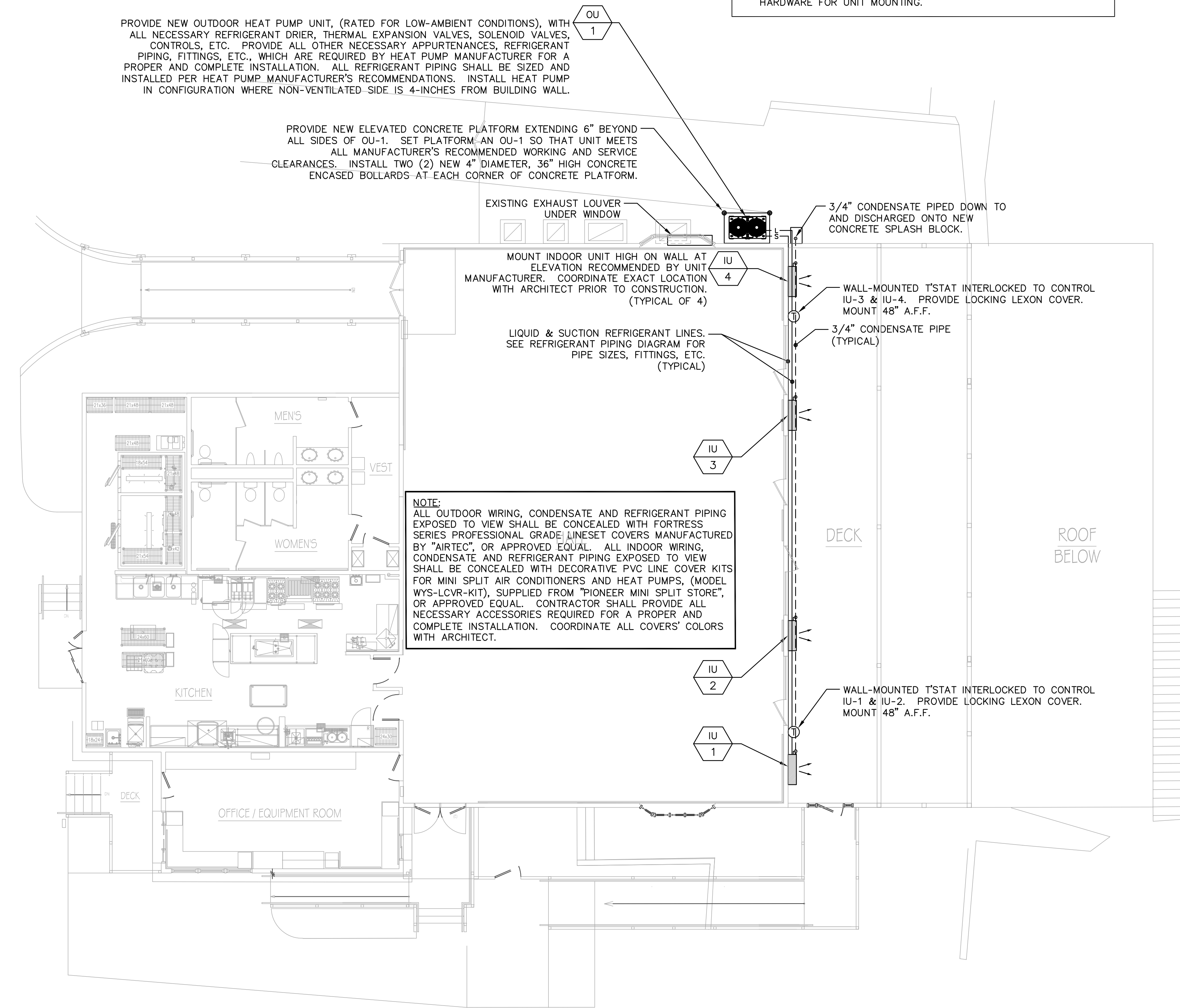
3/4" CONDENSATE PIPE (TYPICAL)

WALL-MOUNTED T'STAT INTERLOCKED TO CONTROL IU-1 & IU-2. PROVIDE LOCKING LEXON COVER. MOUNT 48" A.F.F.



INTERIOR DECK ELEVATION

1/4"=1'0"



MECHANICAL PART PLAN

1/8"=1'0"

DRAWING TITLE MECHANICAL PLAN PIPING DETAIL # SCHEDULE	PROJECT No. # 17-A1 - Lenape Park - Rear Deck	DRAWING No. M-1	ISSUED FOR BID	PROGRESS	PRELIMINARY	REVISION
			06/24/19	06/18/19	06/11/19	05/21/19
			No.			

Renovations to:
LENAPE PARK EAST
Catering Hall - Deck

753 Park Road
Block: 568 - Lot: 75.01

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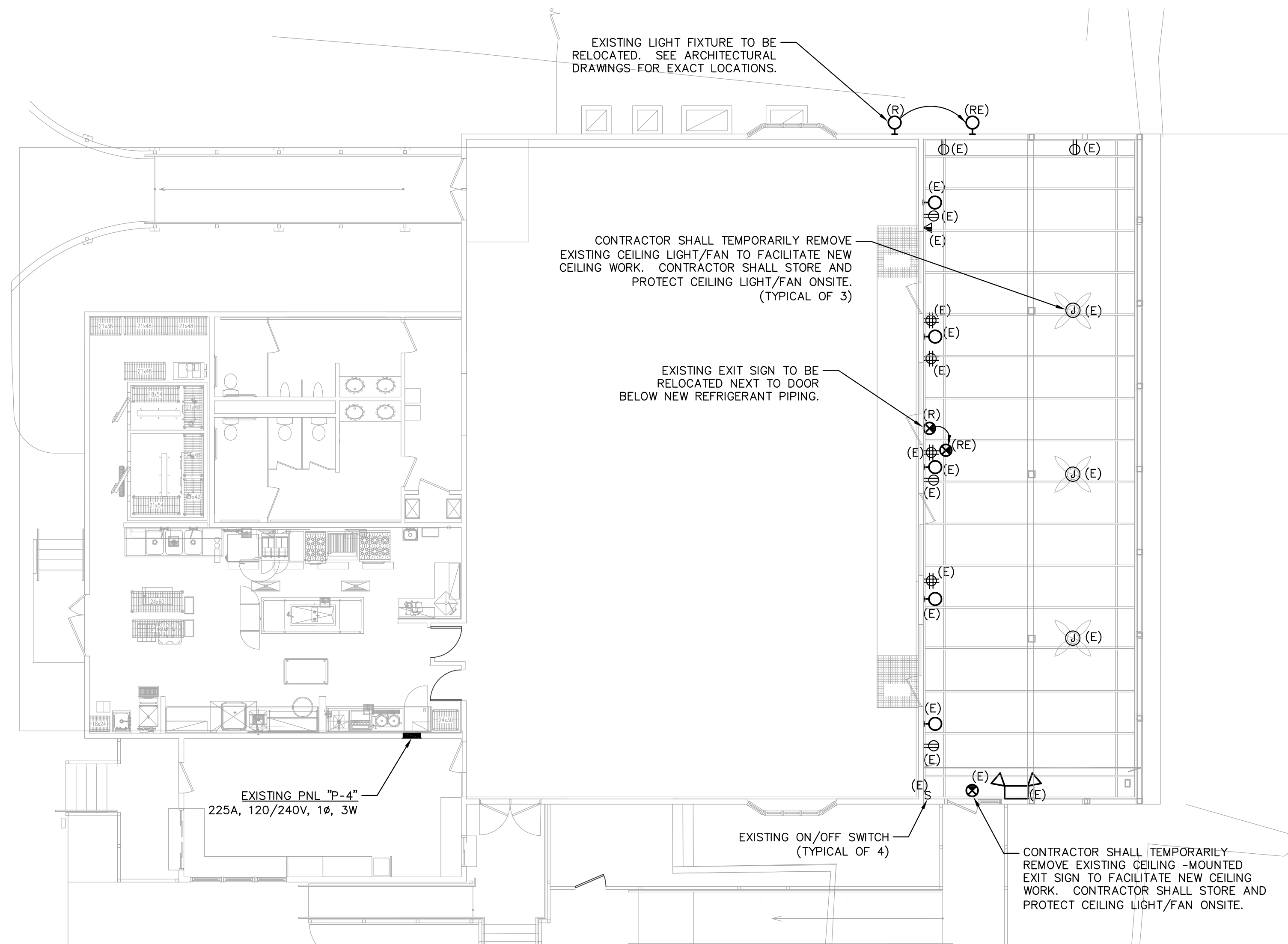
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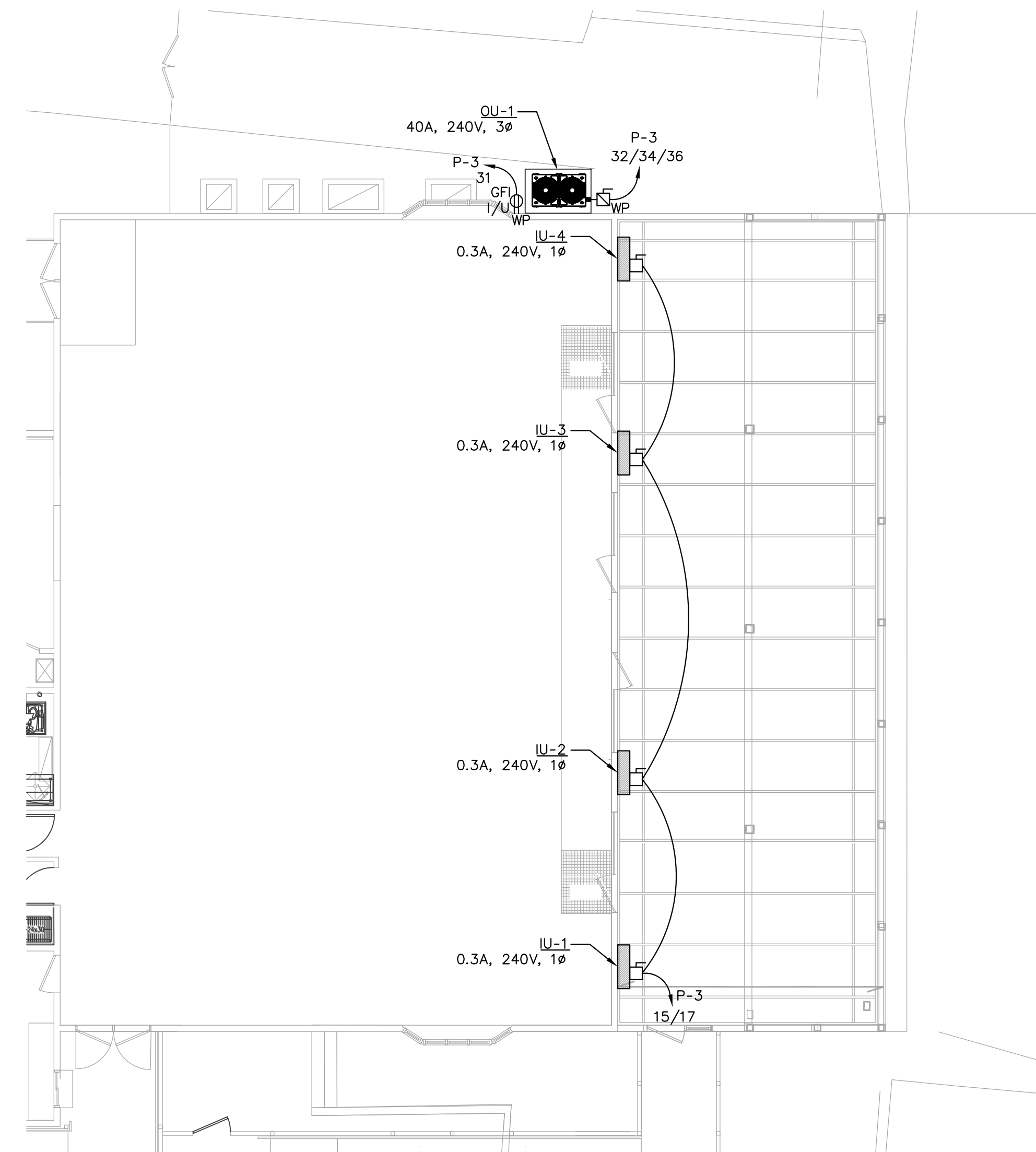
Michael P. Toy, P.E.
Professional Engineer
New Jersey Lic. # 35807

CONTRACTOR TO VERIFY IN FIELD DIMENSIONS AND CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 EXISTING TO REMAIN AS IS UNLESS NOTED OTHERWISE.



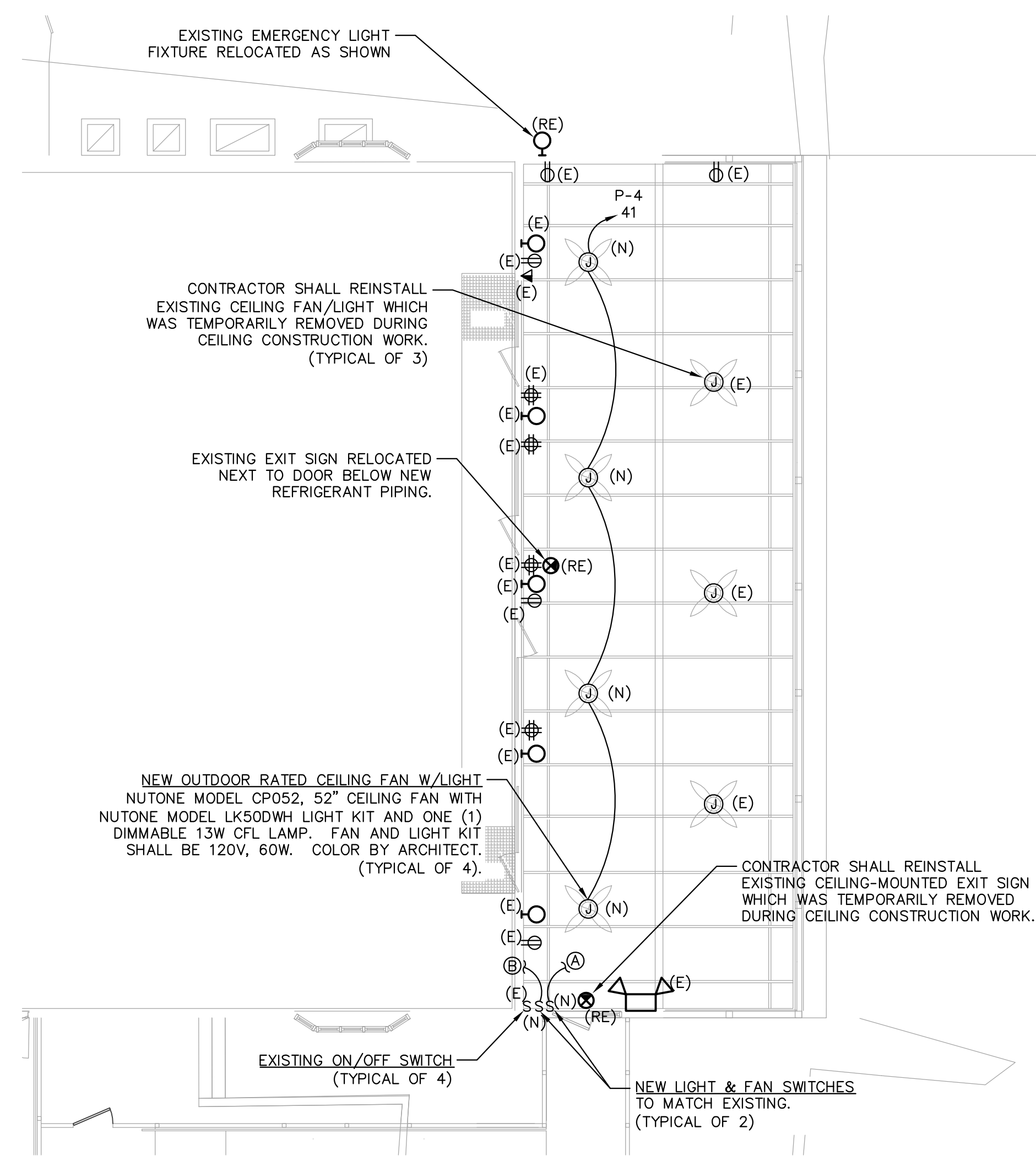
ELECTRICAL DEMOLITION PARTIAL PLAN

1/8" = 1'-0"



MECHANICAL EQUIPMENT POWER PARTIAL PLAN

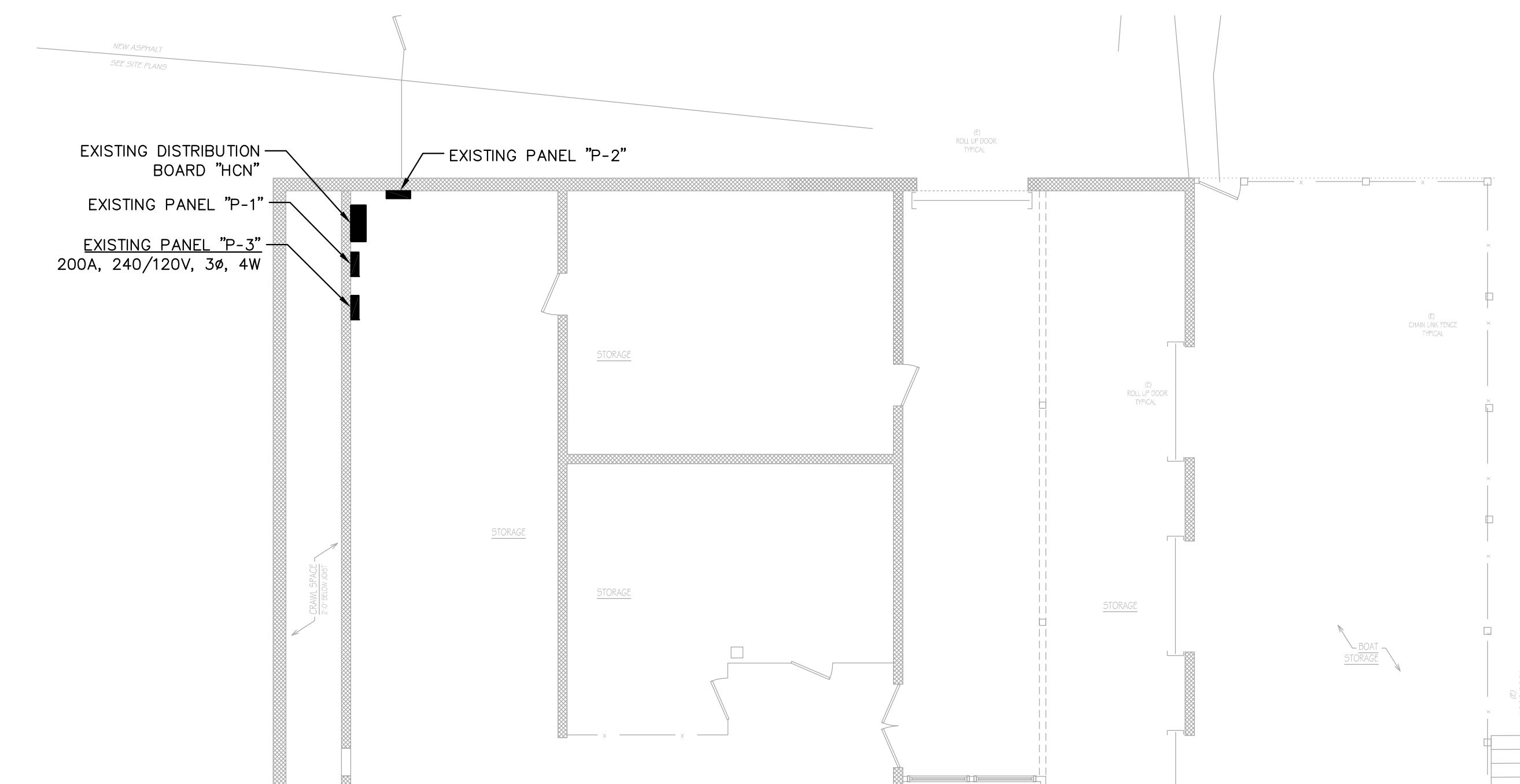
1/8" = 1'-0"



ELECTRICAL POWER NEW PARTIAL PLAN

1/8" = 1'-0"

- Ⓐ NEW CEILING FAN LIGHTS SWITCH. E.C. SHALL MATCH NEW CEILING FAN LIGHTS SWITCH WITH EXISTING CEILING FAN LIGHTS SWITCH CURRENTLY CONTROLLING THE THREE EXISTING FAN LIGHTS .
- Ⓑ NEW CEILING FAN SWITCH. E.C. SHALL MATCH NEW CEILING FAN SWITCH WITH EXISTING CEILING FAN SWITCH CURRENTLY CONTROLLING THE THREE EXISTING FANS .



ELECTRICAL POWER PARTIAL BASEMENT PLAN

1/8" = 1'-0"

NOTE:
 ALL INDOOR EXPOSED WIRING TO VIEW FOR THE NEW SPLITS SHALL BE CONCEALED WITH DECORATIVE PVC LINE COVER KITS FOR MINI SPLIT AIR CONDITIONERS AND HEAT PUMPS, (MODEL WYS-LOVR-KIT), SUPPLIED FROM "PIONEER MINI SPLIT STORE". ALL OUTDOOR WIRING, CONDENSATE AND REFRIGERANT PIPING EXPOSED TO VIEW SHALL BE CONCEALED WITH FORTRESS SERIES PROFESSIONAL GRADE LINESSET COVERS MANUFACTURED BY "ARTEC", OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE ALL NECESSARY COVER ACCESSORIES REQUIRED FOR A PROPER AND COMPLETE INSTALLATION. COORDINATE ALL ITEMS' COLORS WITH ARCHITECT. ALL INDOOR LINE AND LOW-VOLTAGE WIRING, NOT CONCEALED BY SPECIFIED PIPE COVERS, SHALL BE INSTALLED CONCEALED WITHIN BUILDING CONSTRUCTION. ALL WIRING IN BASEMENT MAY BE INSTALLED IN EXPOSED CONDUIT.

DRAWING TITLE	
ELECTRICAL PLANS	
PROJECT No.	# 17.41 - Lenape Park - Rear Deck
DRAWING No.	E-1
ISSUED FOR BID	06/24/19
PROGRESS	06/18/19
PRELIMINARY	06/11/19
REVISION	05/22/19
No.	DATE

Renovations to:
LENAPE PARK EAST
 Catering Hall - Deck
 753 Park Road
 Block: 568 - Lot: 75.01
 Hamilton Township
 New Jersey

CBArchitect
 cristina@cb-architects.com
 www.cb-architect.com
 6601 Ventnor Ave.
 Suite 24
 Ventnor, NJ 08406
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 Cristina Buendicho, AIA
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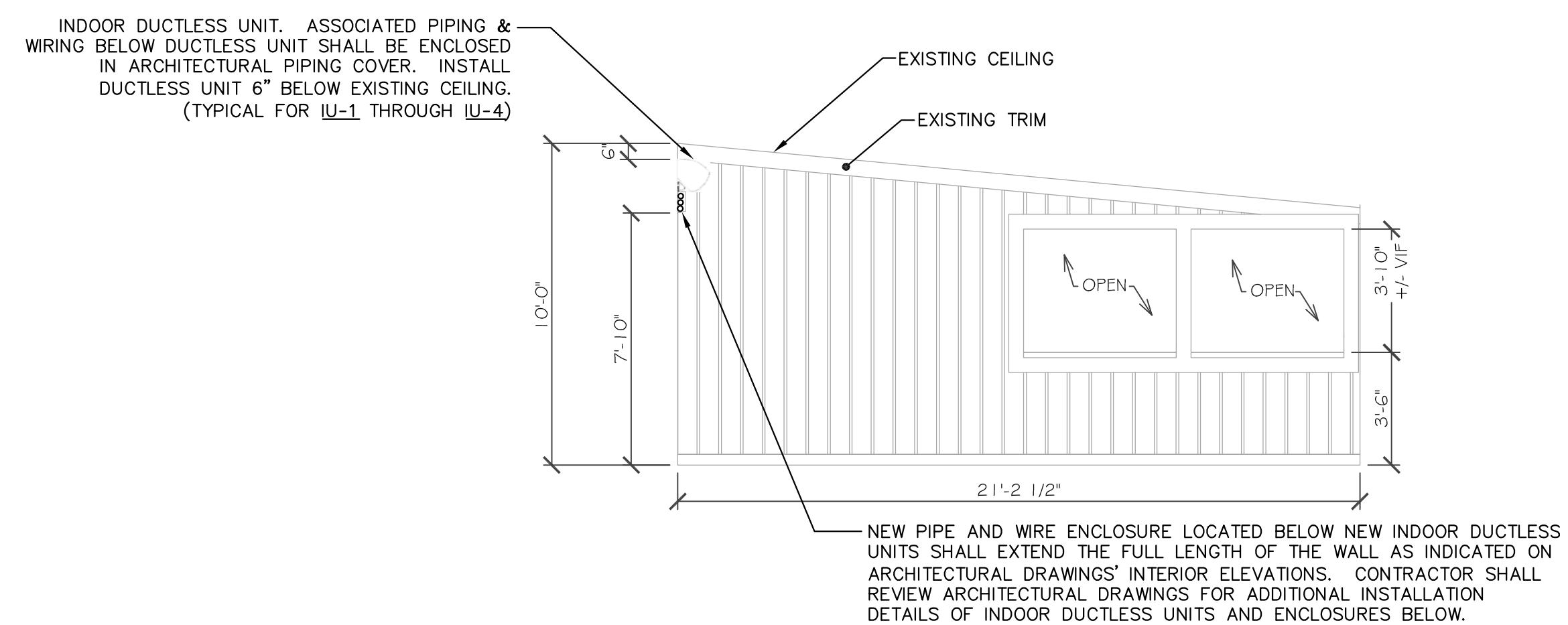
Registered Architect:

Cristina Buendicho, AIA
 NJ License No. 12978

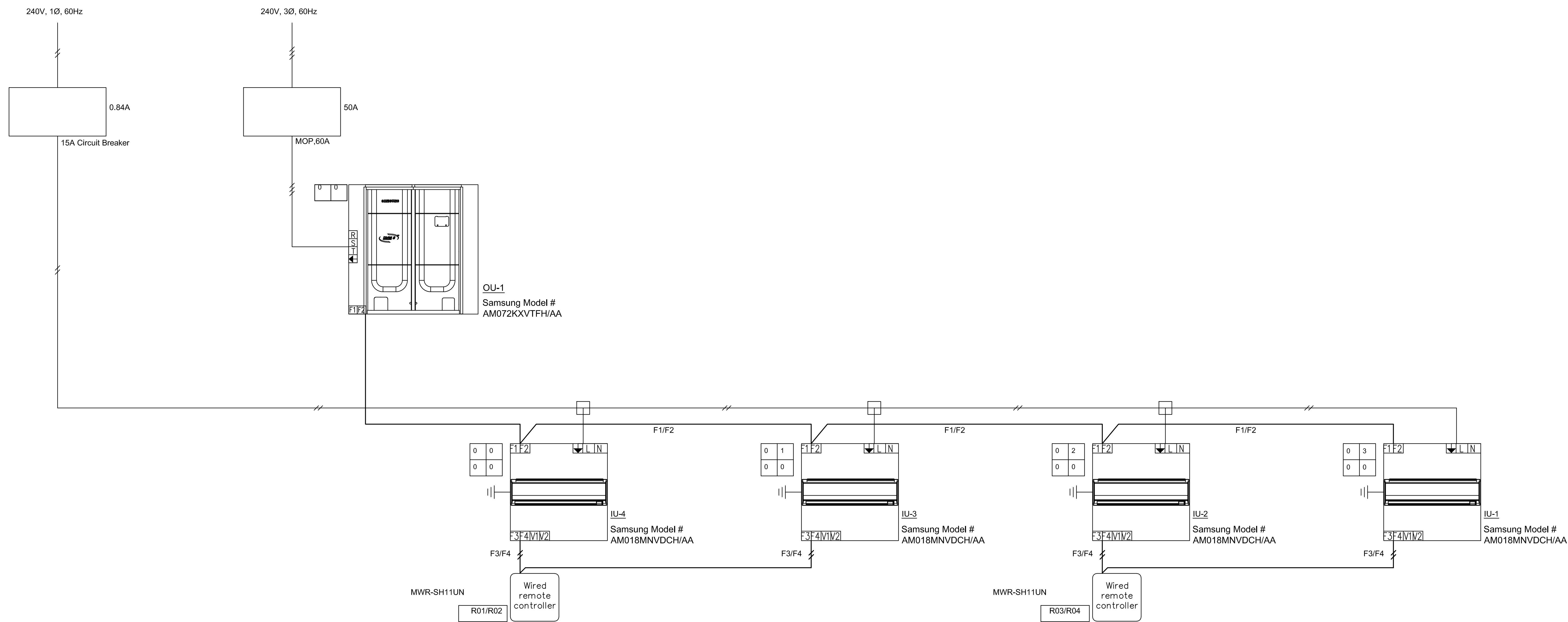
CONCORD ENGINEERING

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 Authorization No. 24GA27936700

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EXISTING TO REMAIN AS IS UNLESS NOTED OTHERWISE.



INTERIOR DECK ELEVATION
1/4"=1'0"



ELECTRICAL HEAT PUMP WIRING DIAGRAM
N.T.S.

DRAWING TITLE ELECTRICAL HEAT PUMP WIRING DIAGRAM	
PROJECT No. # 17-A1 - Lonsdale Park - Rear Deck	
DRAWING No. E-2	

No.	DATE	REVISION
1	05/21/19	PRELIMINARY
2	06/11/19	PROGRESS
3	06/18/19	PROGRESS
4	06/24/19	ISSUED FOR BID

Renovations to:
LENAPE PARK EAST
Catering Hall - Deck
753 Park Road
Block: 588 - Lot: 75.01
New Jersey

Hamilton Township

CB Architect
6601 Ventnor Ave.
Suite 24
Ventnor, NJ 08406
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