

## COUNTY

PROPOSED ESTELL MANOR PARK - SHAW HOUSE & MAINTENANCE BUILDING RENOVATIONS  
FOR THE  
ATLANTIC COUNTY GOVERNMENT

RENOVATIONS - INDEX OF SHEETS	
SHEET NUMBER	DESCRIPTION
G00	COVER SHEET
G10	NOTES, LOCATION, CODES AND MISC. DATA
A11	PLANS AND ELEVATIONS - SHAW HOUSE
A12	PLANS AND ELEVATIONS - MAINTENANCE BUILDING
A31	DETAILS - SHAW HOUSE
A32	DETAILS - MAINTENANCE BUILDING

**THE DESIGN  
COLLABORATIVE**  
ARCHITECTS AND PLANNERS, P.A.  
1940 ROUTE 9 NORTH  
CAPE MAY COURT HOUSE, NEW JERSEY 08210  
PHONE: 609 465 4111 FAX: 609 465 9358  
[WWW.TDCARCHITECT.COM](http://WWW.TDCARCHITECT.COM)

REUSE OF DOCUMENTS:  
This Document, and the ideas and the designs incorporated herein, as an instrument of professional service, is the property of The Design Collaborative Architects and Planners, P.A. and is not to be used in whole or in part for any other project without the written authorization of The Design Collaborative Architects and Planners, P.A.

DATE Aug 11 20

DIVISION OF FACILITY/CAPITAL PLANNING  
& PROPERTY MANAGEMENT  
1227 DREXEL AVE., PO BOX 1107  
ATLANTIC CITY, N.J. 08404-1107

**THE DESIGN COLLABORATIVE**  
ARCHITECTS AND PLANNERS, PA  
1940 ROUTE 9 NORTH  
CAPE MAY HOUSE, JERSEY 08210  
PHONE: 609 465 1111 FAX: 609 465 9388  
WWW.TDCARCHITECT.COM

SCALE:	AS NOTED	DRAWN BY: <b>lv</b>
COMM. No.	8083	CHECKED BY: <b>dod</b>

DATE:	7/28/2020	
SHEET TITLE:		

COVER SHEET

\_\_\_\_\_

SHEET No.: **GO-0**

DATE	No.	REVISION
------	-----	----------

**LOT 5**

**COUNTY**

**ATLANTIC COUNTY BOARD OF CHOSEN FREEHOLDERS**  
**SHAW HOUSE AND MAINTENANCE BUILDING**  
**EXTERIOR ENVELOPE REPAIRS**  
ESTELL, MANOR PARK 109 NJ-50, Mays Landing, NJ 08330

**BLOCK 51**

**ESTELL MANOR**

**PP, Vice President**  
Professional Planner LLC / 313.006.7199

Elizabeth M. Viviani, AIA, Secretary/Treasurer  
New Jersey LIC # 21A101030200

New Jersey LIC # 21A10106900

Other projects without the written authorization of The Foreign Corrupt Practices Institute and Planners, P.A.

--	--

11

1

1

7



ALL FOLLOWING DEMOLITION NOTES SHALL APPLY TO ALL CONDITIONS, WHETHER SPECIFICALLY INDICATED OR NOT.

- ## GENERAL CONSTRUCTION

17. AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS OF THE JOBSITE INCLUDING MEANS AND METHODS OF CONSTRUCTION AND SAFETY OF PERSONS AND PROPERTY. THE ARCHITECT'S/ENGINEER'S PRESENCE OR REVIEW OF WORK AT THE JOBSITE IS FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT ONLY AND IS NOT EVER TO BE CONSTRUED AS A REVIEW OF MEANS AND METHODS OF CONSTRUCTION AND SAFETY METHODS.

18. COSTS OF INVESTIGATION AND/OR REDESIGN DUE TO CONTRACTOR ERRORS WILL BE AT THE CONTRACTOR'S EXPENSE.
19. ANY APPROVED CONTRACTOR REQUESTED CHANGES TO THESE DRAWINGS WILL BE DONE AT NO COST TO THE OWNER. APPROVAL OF CONTRACTOR REQUESTED CHANGES SHALL BE AT THE DISCRETION OF THE OWNER.

20. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY. THE CONTRACTOR MUST PROVIDE A SKETCH OF THE CONDITION WITH HIS PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. THIS SKETCH MUST BE SUBMITTED TO AND APPROVAL MUST BE GRANTED BY THE ARCHITECT/ENGINEER PRIOR TO PERFORMING THE WORK.

21. SIZE AND/OR LOCATION OF EXISTING STRUCTURES AND UTILITIES SHOWN ON THE DOCUMENTS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE TO VERIFY BY FIELD MEASUREMENTS/INVESTIGATION THE SIZE AND/OR LOCATION OF ALL EXISTING STRUCTURES AND UTILITIES.

1. SHORING, BRACING, AND PROTECTION OF EXISTING AND ADJACENT STRUCTURES DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. PROTECT AND MAINTAIN THE INTEGRITY OF ADJACENT STRUCTURES, BUILDINGS AND STREETS.
2. ALL EXISTING DIMENSIONS, ELEVATIONS, AND LOCATIONS OF EXISTING STRUCTURES, OR RELATIVE TO EXISTING STRUCTURES, THAT ARE SHOWN ON STRUCTURAL DOCUMENTS WILL BE VERIFIED BY FIELD MEASUREMENTS PERFORMED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER.
3. THE DOCUMENTS HAVE BEEN PREPARED BASED ON AVAILABLE KNOWLEDGE OF EXISTING CONDITIONS. IF, DURING DEMOLITION, EXCAVATION OR CONSTRUCTION, ACTUAL CONDITIONS ARE DISCOVERED TO DIFFER FROM THOSE INDICATED ON THE DOCUMENTS, THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED.
4. SELECTIVELY DEMOLISH STRUCTURAL COMPONENTS AS REQUIRED TO CONSTRUCT NEW WORK. PRIOR TO ANY DEMOLITION WORK, AN ENGINEERING SURVEY REPORT OF THE STRUCTURE SHALL BE PREPARED BY THE CONTRACTOR TO DOCUMENT THE CONDITION OF THE FRAMING, FLOORS AND WALLS. ANY ADJACENT STRUCTURE WHERE OCCUPANTS MAY BE EXPOSED SHALL BE SIMILARLY REVIEWED.

1. REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, UNLESS NOTED OTHERWISE ON DRAWINGS:  
CONCRETE POURED AGAINST EARTH 3"

#5 OR SMALLER	1 1/2"
#6 OR LARGER	2"

CLEAR COVER SHALL BE CLEARLY SHOWN ON ALL REINFORCING BAR DETAIL DRAWINGS.

- SPREAD FOOTINGS/WALL FOOTINGS/FOUNDATION WALL  
SLAB-ON-GRADE 3,500 PSI

NU CURRENT CODES	
NU UCC	
BUILDING SUBCODE	IBC/2009 NU EDITION (EDITS FROM 314)
PUMPING SUBCODE	NATIONAL STANDARD PUMPING CODE/2008
ELECTRICAL SUBCODE	NATIONAL ELECTRICAL CODE (NFPA 70)/2001
ENERGY SUBCODE	ASHRAE 90/-2006
MECHANICAL SUBCODE	INTERNATIONAL MECHANICAL CODE/2008
FUEL GAS SUBCODE	INTERNATIONAL FUEL GAS CODE/2008
REHABILITATION SUBCODE	NUCC SUBCHAPTER 6
BARRIER FREE SUBCODE	ICC/ANSI A117-2009
ELEVATOR SUBCODE	AMERICA SOCIETY OF MECHANICAL ENGINEERS (ASME)

ESTELL MANOR PARK - ATLANTIC COUNTY  
109 ROUTE 50, ESTELL MANOR, NJ 08330



AB	ANCHOR BOLTS	FL / FLR	FLOOR	FL	FLUTE	FLUTE
AD	AT	FD	FLOOR DRAIN	FLD	FLD	FLWOOD
ACOB	ACOUSTIC	FLO	FLOORING	FLF	FLICE	FLORANCE
ACT(1)	ACOUSTIC TILE	FO	FIRE PROOF SELF CLOSING	PSL	PANOS	PANOS PER SQUARE INCH
ACC	ALKALINE COPPER QUATERNARY	FFSLC	FRAME	PIN	PARTITION	PARTITION
ACQ	AIR COOLED CONDENSING UNIT	FR	FIRE RETARDANT TREASURED (WOOD)	PVC	PLV	PLV VINYL CHLORIDE
ACQ	AIR COOLED CONDENSING UNIT	FR	FIRE RETARDANT REINFORCED GYPSUM	Q	Q	Q
AF	ADORE FINISHED FLOOR	FRSLG	FLEXIBLE SHEET ROOFING	R	R	RADIUS
ALT	ALTERNATE	FAR	FLOOR AREA REINFORCED POLYESTER	REF	REF	REF
ALUM / AL	ALUMINUM	FSP	FOOTING	REBAR	REBAR	REINFORCING BAR
I	AND	AND	AND	REF / REFERR	REF / REFERR	REF / REFERR
AND	ANGLE	GA	GALVANIZED	REIN	REIN	REINFORCING / FREEZER
AS	ACOUSTIC PANEL	GA	GENERAL CLASSROOM	REIN	REIN	REINFORCING (ING)
APPD	APPROVED	GALV	GALVANIZED	REIN	REIN	REVISION
APPL	APPLY	GCR	GYP	REF	REF	REF
ARCH	ARCHITECTURAL	GCR	GYP	REF	REF	REF
BRG	BEARING	GID	GYP	REF	REF	REF
BD	BOARD	GTP	GYP	REF	REF	REF
BLK	BLACK	H	HEAD	R	R	REF
BOF / B	BOTTOM	HD	HOLLOW METAL	RVC	RVC	RAIN WATER CONDUCTOR
BO	BOTTOM OF	HM	HORIZONTAL	R	R	RAIN WATER LEADER
BUR	BUILT UP (ROOF)	HORE	HIGH POINT	SC / SP CT	SC / SP CT	SPECIAL COATING
CAB	CABIN	CBP	CORR. HIGH PRESSURE SODIUM	SP	SP	SPECIAL TREAT
CCA	CHALKBOARD	HPS	HANGAR	SH	SH	SHAW
CCB	COPPER CROHATED ARSENIC	HR	HEIGHT	SH	SH	SHEET
CE	CERAMIC	HT	HEATING VENTILATION I	SPEC (S)	SPEC (S)	SPECIFICATION (S)
CJ	CONTROL JOINT	HVAC	AIR CONDITIONING	SQ	SQ	SQUARE
CL	CHANNEL	GR	GENERAL TYPICAL	STD	STD	STANDARD
CH / C	CHANNEL	IBF	INSULATING ATHLETIC RUBBER	STG	STG	STORAGE
CL / C	CENTRAL LINE	IN	INSIDE DIMENSION	ST / ST	ST / ST	STEEL
CL	CLOSET	ID	INSULATION	ST / ST	ST / ST	STEEL
CLG	CEILING	INUL	JAMB	STRUCT	STRUCT	STRUCTURAL
COL	COLUMN	J	J	SUPD	SUPD	SUPPLEMENT
CON	CONCRETE MASONRY UNIT	KT	KITCHEN	SW	SW	SWITCH
CONTR	CONTRACT	KT	LONG	T	T	TREAD / KICKER / TOP
CONC	CONCRETE	LG	LONG	T	T	TACK BOARD
CONSTR	CONSTRUCTION	LAM	LABEL	1 B	1 B	TOP AND BOTTOM
CONTR	CONTRACTOR	LAB	LABORATORY	TEL	TEL	TELEPHONE
CORR	CORROSION	LLH	LONG LEV HORIZONTAL	THK	THK	THICKNESS
CONT	CONTINUOUS	LLV	LONG LEV VERTICAL	TL	TL	TYPICAL
D	DEEP	LLV	LOW POINT	TOP	TOP	TOP OF
DET	DETAIL	LFP	LIGHTWEIGHT CONCRETE	TOG	TOG	TOP OF STEEL / TOP OF SLAB
DIA	DIAMETER	MACH	MACHINE	TOU	TOU	TRANSITION STRIP / CARPET
DIST	DISTRIBUTION (TOR)	MAG	MAGNETIC	TOW	TOW	TOP OF WALL
DRL	DRAIN	MAG	MAGNETIC	TR	TR	TRUCK
DPS	DRY PAPER BOARD	MAK	MODIFIED BITUMEN SHEET ROOFING	UC	UC	UTILITY CLOSET
DR	DOOR	MEBR	MARINE DENITY OVERLAY	UL	UL	UNDERCUTS LABORATORY
DS	DOWN STOP	MEC	MECHANICAL	UNO	UNO	UNLESS NOTED OTHERWISE
DUGS	DRAINING (S)	MECH	MECHANICAL	USE	USE	UNDER SIDE
E	ELECTRIC	MECH	MECHANICAL	VAL	VAL	VALVE
EFF	EFFICIENCY	MECH	MECHANICAL	VCT	VCT	VINYL COMPOSITION TILE
EJ	EXPANSION JOINT	MECH	MECHANICAL	W	W	WALL
EL / ELV	ELEVATION	MNM	MASONRY OPENING	VERT	VERT	VERTICAL
EP	ELECTRIC PANEL	MN	MASONRY OPENING	VALFR	VALFR	VERY HIGH IMPACT FIBERGLASS
EPDM	ETHYLENE PROPYLENE DIENE-TERPOLYMER	MD	METAL	VALFR	VALFR	VALVE
EPDM	ETHYLENE PROPYLENE DIENE-TERPOLYMER	MD	METAL	VFR	VFR	VINYL FIBERGLASS
EQ	EQUAL	MTL	METAL	VFR	VFR	VINYL FIBERGLASS
EQUIV	EQUIVALENT	MY	NO CEILING	W	W	WIDTH
EQ	EQUIPMENT	NG	NOT IN CONTACT	WD	WD	WOOD
ES	ELECTRIC	NR	NUMBER	W	W	WATER RESISTANT
EMC	ELECTRIC WATER COOLER	NO	NOT TO SCALE	W	W	WATER RESISTANT
EXGL / EXIST	EXISTING	NFS	NO CENTER	WUF	WUF	WATER RESISTANT
EXP	EXPANSION	OC	OPERATOR / ON	WUF	WUF	WATER RESISTANT
EXT	EXTERIOR	OD	OUTSIDE DIAMETER	WUF	WUF	WATER RESISTANT
FAT	FIRE ALARM	OP	OPENING	WUF	WUF	WATER RESISTANT
FE	FIRE EXTINGUISHER	PAR	PARTITION	WUF	WUF	WATER RESISTANT
FIN	FINISH FLOOR	PC	PRE-CAST	YD	YD	YARD DRAIN

	ELEVATION No. SHEET No.		ENLARGEMENT		FINISH WOOD
	WALL SECTION No. $\square$ SHEET No.		$\xi$ COLUMN TO $\xi$ COLUMN TO		CONCRETE
	BUILDING SECTION No. $\square$ SHEET No.		DETAIL SECTION No. $\square$ SHEET No.		INSULATION RIGID-FOAM
	DETAIL No. SHEET No.		CML		INSULATION BATT
	DIMENSION		CML W/ FIRE RATING (PLAN)		PLYWOOD LARGE SCALE
	$\xi$ TO OUTSIDE FACE		BRICK		STEEL
	$\xi$ DIMENSION		WOOD BLOCKING		

DATE	No.	REVISION

**OT 5**

**ATLANTIC COUNTY**

**Louis J. DeLosso, AIA, PP, Vice President**  
 Fax: 602/333-2100 Professional: 602/333-2100  
 Fax: 602/333-2100 Professional: 602/333-2100

ATLANTIC COUNTY BOARD OF CHOSEN FREEHOLDERS  
SHAW HOUSE AND MAINTENANCE BUILDING  
**EXTERIOR ENVELOPE REPAIR**  
ESTELL MANOR PARK 109 NJ-50, Mays Landing, NJ 08332

**Linda M. Viventi, AIA, Secretary/Treasurer**  
New Jersey IIC # 21A1010A0200

**Drew C. Dingler, ALA, President**  
New Jersey LIC # 21A101088800

### KEY PLAN

THE DESIGN  
COLLABORATIVE  
ARCHITECTS AND PLANNERS, P.A.

HOUSE OF DOCUMENTS

SCALE:	AS NOTED	DRAWN BY: <b>lv</b>
COMM. No.	8083	CHECKED BY: <b>dcd</b>
DATE:	7/28/2020	

SHEET TITLE

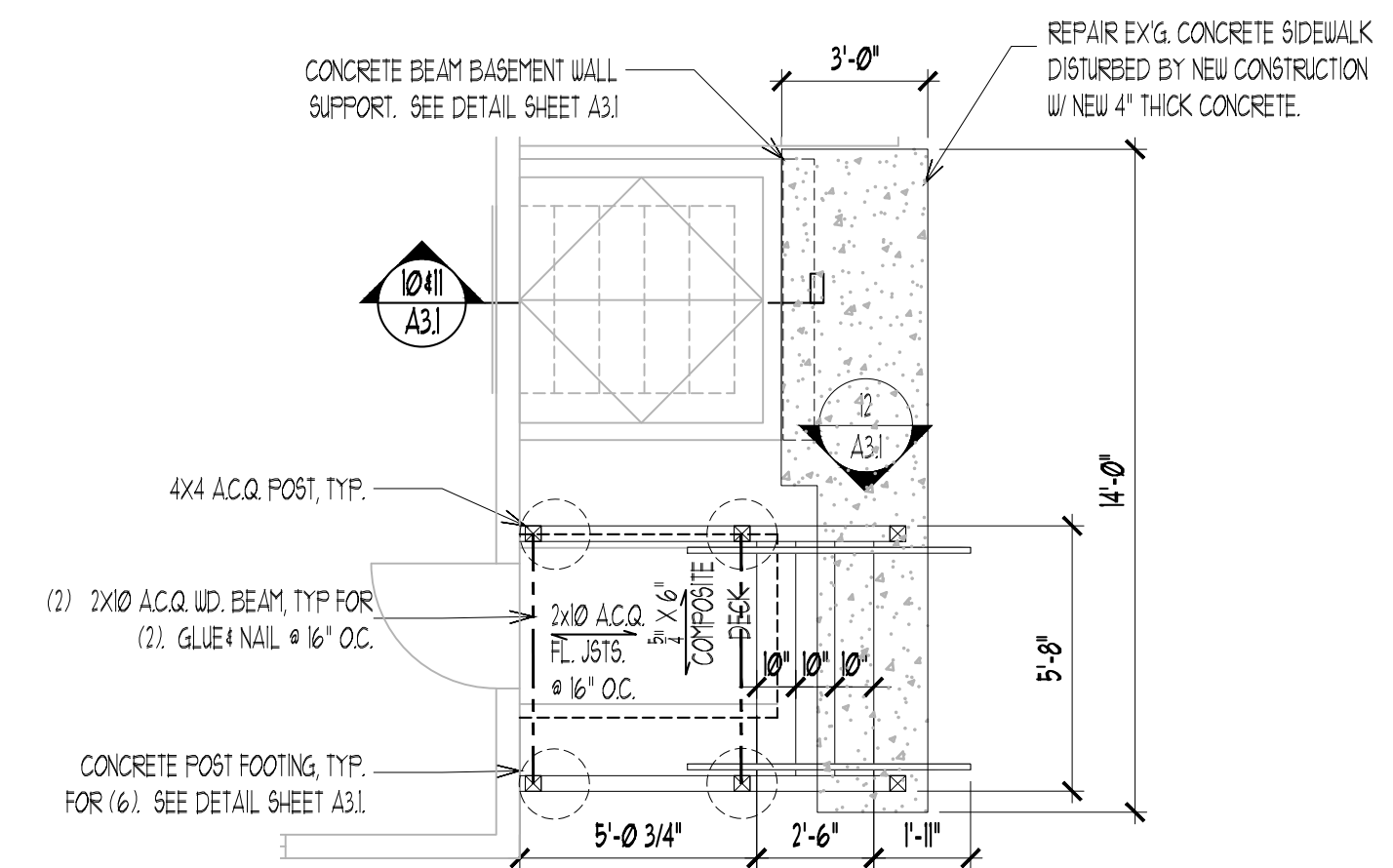
**NOTES, LOCATION  
CODES, MISC. DATA**

SHEET No.:

## G1.0



DATE	No.	REVISION
------	-----	----------



BLOCK 51  
 SHAW HOUSE AND MAINTENANCE BUILDING  
 ATLANTIC COUNTY BOARD OF CHOSEN FRESHOLDERS  
**EXTERIOR ENVELOPE REPAIRS**  
 ESTELL MANOR PARK 109 NJ-50, Mays Landing, NJ 08330  
 ATLANTIC COUNTY

**Louis J. DeLozzo, ALA, PP, Vice President**  
New Jersey LLC # 21AD0364100 Professional Flairer LLC # 31100387100

**Linda M. Viventi, ALA, Secretary/Treasurer**  
New Jersey LLC # 21A101090200

**Drew C. Dinger, AIA, President**  
New Jersey LIC.# 21A101088800

[illegible]

SHEET TITLE:

## FLOOR PLANS & ELEVATIONS

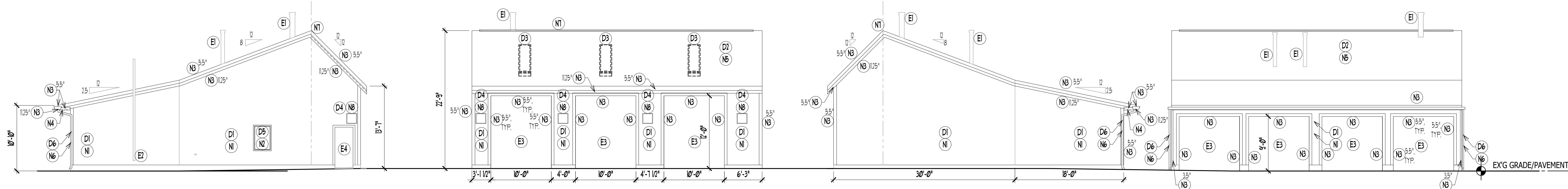
### SHAW HOUSE

SHEET No.: **A1.1**



SHAW HOUSE SPECIFIC NOTES (REFERENCE THIS SHEET ONLY)		
EXISTING	DEMOLITION	NEW WORK
(E) EX/G CHIMNEY/STACK TO REMAIN. REPORT IN ACCORDANCE W/ SPECIFICATIONS.	(D1) REMOVE EX/G FIBERGLASS ASPHALT ROOF SHINGLES + UNDERLAYMENT FELTS AT ENTIRE ROOF AREA INCLUDING PORCH. EX/G DECKING TO REMAIN UNLESS DETERIORATED. SEE UNIT PRICES FOR ADDITIONAL INFORMATION.	(N) PROVIDE NEW DIMENSIONAL FIBERGLASS ASPHALT SHINGLES, GAF "TIMBERLINE" OR APPROVED EQUAL. INSTALL OVER SHINGLE UNDERLAYMENT "DECK ARMOR" BY GAF OR APPROVED EQUAL. SEE SPECS FOR ADDITIONAL LEAK BARRIER LOCATIONS, "WEATHER WATCH" BY GAF OR APPROVED EQUAL.
(E) EX/G SOFFITS TO REMAIN.	(D2) REMOVE EX/G BASEMENT ACCESS DOOR. SEE DETAILS FOR NEW CONSTRUCTION.	(N0) PROVIDE NEW ALUMINUM HALF ROUND GUTTERS, BRACKETS AND RAIL. SEE DETAILS FOR NEW CONSTRUCTION.
(E3) EX/G SIDING + TRIM TO REMAIN.	(D3) REMOVE EX/G BASEMENT WINDOWS. SEE DETAILS FOR NEW CONSTRUCTION.	(N3) PROVIDE NEW BASEMENT ACCESS DOOR AS MFG'D BY BILCO, OR APPROVED EQUAL. SEE DETAILS FOR NEW CONSTRUCTION.
	(D4) REMOVE EX/G WOOD PORCH. SEE DETAILS FOR NEW CONSTRUCTION.	(N4) PROVIDE NEW BASEMENT WINDOWS. SEE DETAILS FOR NEW CONSTRUCTION.
		(N5) PROVIDE NEW PORCH AND STAIR. SEE DETAILS FOR NEW CONSTRUCTION.
		(N6) REPORT EX/G CHIMNEYS. SEE SPECS.
		(N1) PROVIDE NEW WHITE PVC DOWNSPOUT EXTENDERS, 6'-0" LONG, TYP. # EA. NEW DOWNSPOUT.
		(N8) PROVIDE NEW RIDGE VENT.

FILE: C:\PROJECTS\08083\Architectural\08083-A11 PLANS AND ELEVATIONS.dwg DATE: 8/21/2020 3:04 PM USER: Linda Viveriti

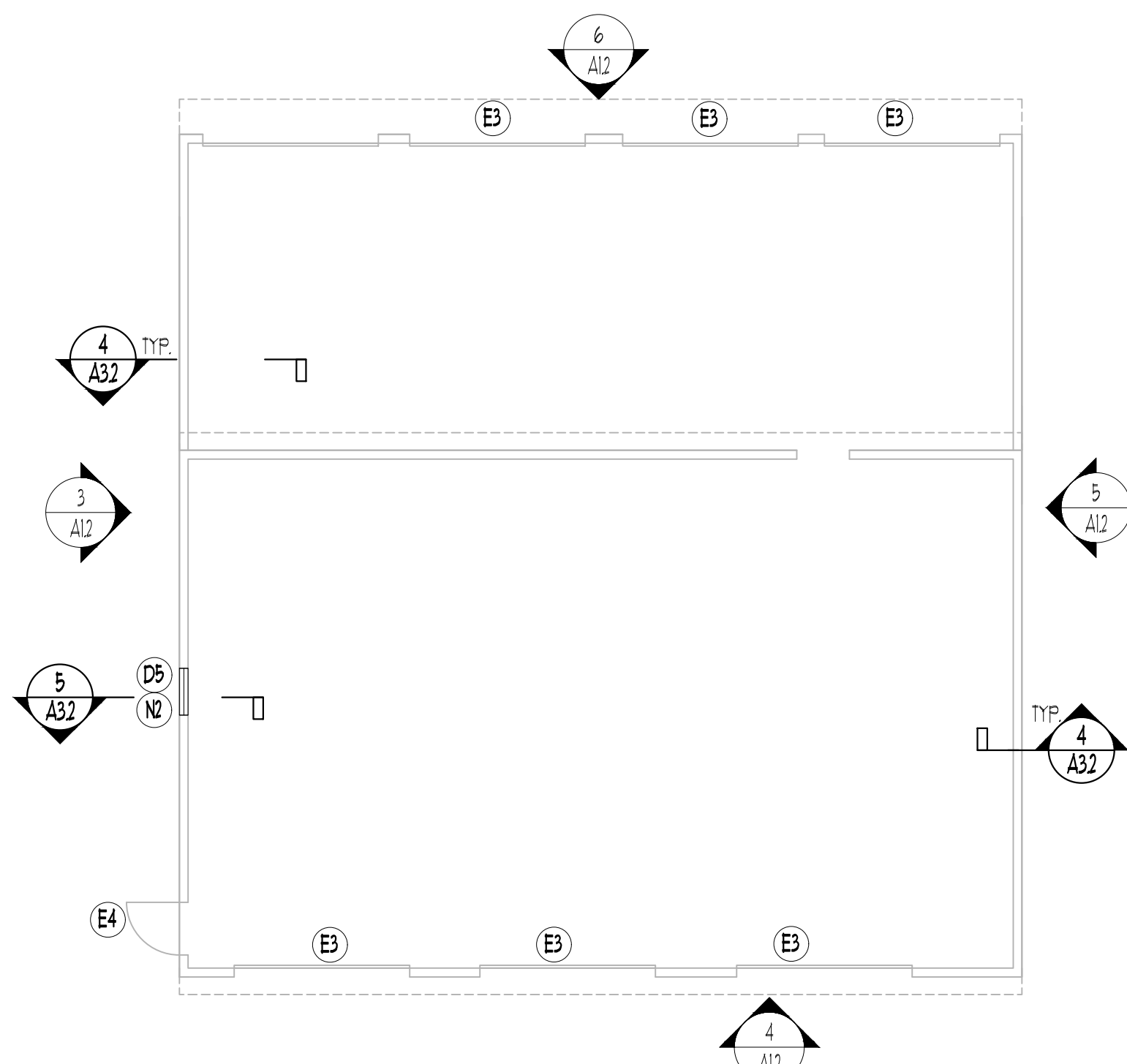


3 WEST ELEVATION  
1/8"=1'-0"

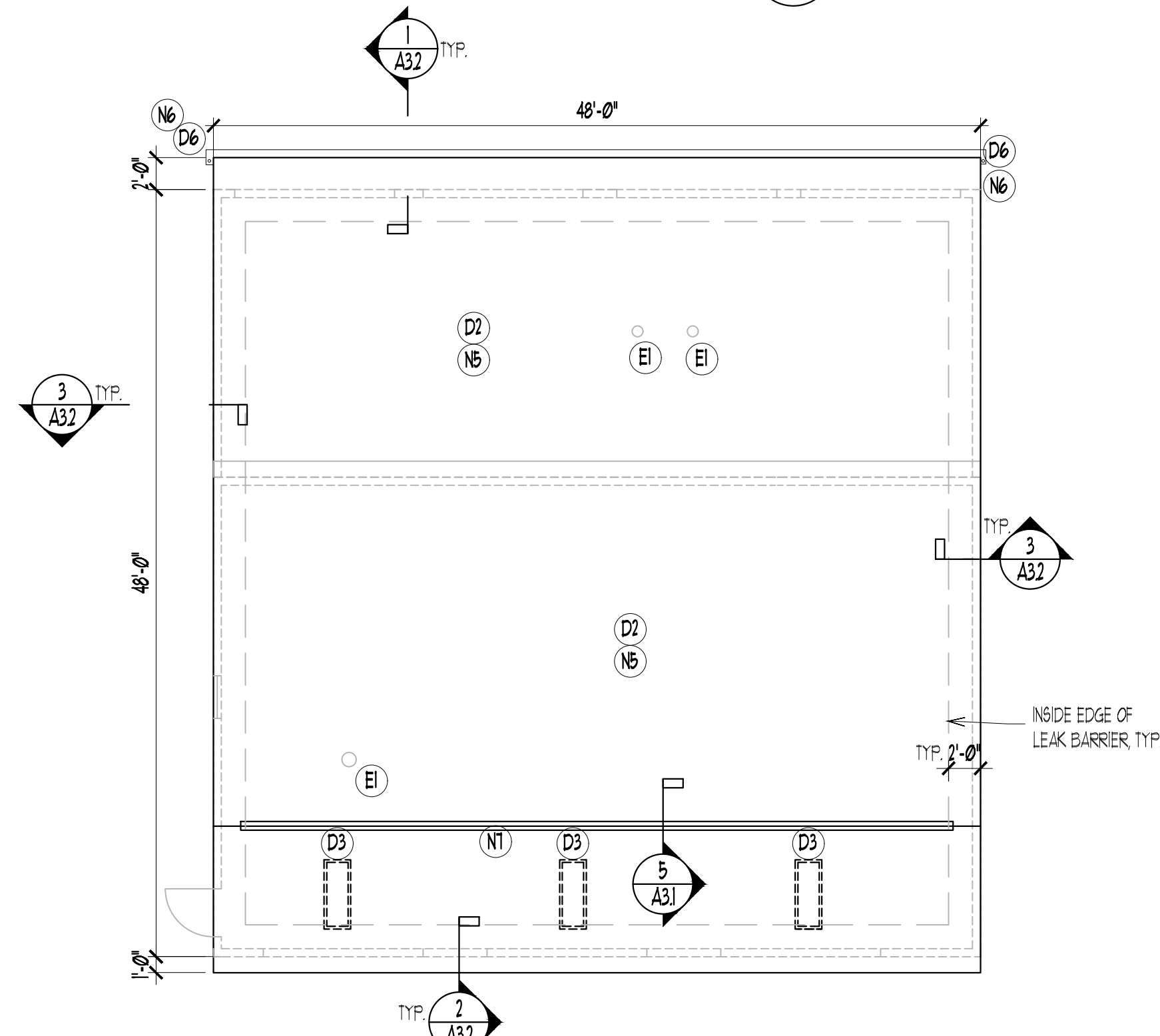
4 SOUTH ELEVATION  
1/8"=1'-0"

5 EAST ELEVATION  
1/8"=1'-0"

6 NORTH ELEVATION  
1/8"=1'-0"



1 1ST FLOOR PLAN  
1/8"=1'-0"



2 ROOF PLAN  
1/8"=1'-0"

MAINTENANCE BUILDING SPECIFIC NOTES		
EXISTING	DEMOLITION	NEW WORK
(E1) EXIS CHIMNEY/STACK TO REMAIN. PROVIDE NEW FLASHING COLLAR.	(D1) REMOVE EXIS VERTICAL WD. SIDING, DOOR TRIM, WINDOW & WINDOW TRIM.	(N1) PROVIDE NEW CEMENTITIOUS HORIZONTAL LAP SIDING @ ALL EXTERIOR WALLS. SIDING TO BE "HARDPLANK" AS MFG'D BY JAMES HARDIE INC. OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH WRITTEN DETAILS. PROVIDE NEW WALL BUILDING BARRIER WRAP OVER EXIS PLYUD. PROVIDE "HARDBOARD" AS MFG'D BY JAMES HARDIE INC. OR APPROVED EQUAL.
(E2) EXIS WALL PENETRATION AND PIPING TO REMAIN. ALUM. FLASH AROUND EXIS OPENING.	(D2) REMOVE EXIS ASPHALT SHINGLES & UNDERLAYMENT FELTS.	(N2) PROVIDE NEW VINYL WINDOW. SEE DETAILS.
(E3) EXIS OVERHEAD DOORS TO REMAIN. REPLACE EXIS TRIM AS INDICATED.	(D3) REMOVE EXIS SKYLIGHTS. INFILL OPENING NEW PLYUD. TO MATCH EXIS PLYUD. THICKNESS.	(N3) PROVIDE NEW 3" X WIDTH SHOWN OR REQUIRED, CEMENTITIOUS TRIM BOARDS AS MFG'D BY JAMES HARDIE INC. OR APPROVED EQUAL. PROVIDE DOOR TRIM AT JAMB & FACE OF BUILDING - (2) PIECES @ EA LOCATION. TYP. @ ALL DOORS (OVERHEAD & MAN DOORS).
(E4) EXIS MAN DOOR TO REMAIN. REPLACE EXIS TRIM AS INDICATED.	(D4) REMOVE EXIS LIGHTING FIXTURES AND/OR DEVICES & REMOINT AFTER NEW SIDING IS INSTALLED.	(N4) PROVIDE NEW CEMENTITIOUS VENTED SOFFIT PANELS AS MFG'D BY JAMES HARDIE INC. OR APPROVED EQUAL.
	(D5) REMOVE EXIS WINDOW & TRIM. PROVIDE NEW VINYL WINDOW. SEE DETAILS.	(N5) PROVIDE NEW DIMENSIONAL FIBERGLASS ASPHALT SHINGLES, GAF "TIMBERLINE" OR APPROVED EQUAL. INSTALL OVER SINGLE UNDERLAYMENT "DECK-ARMOR". INSTALL LEAK BARRIER/WEATHER WATCH* AT EAVES AND RAKES.
	(D6) REMOVE EXIS GUTTER & DOWNSPOUTS.	(N6) PROVIDE NEW ALUM. K STYLE GUTTER & DOWNSPOUTS.
		(N7) PROVIDE NEW VENTING RIDGE.
		(N8) PROVIDE NEW (2) LAYERS 1/2" AZEC TRIM BOARD, APPROX. 16"X16" AROUND EA LIGHT FIXTURE. SEAL AROUND EDGES.



THE DESIGN COLLABORATIVE

ARCHITECTS AND PLANNERS, P.A.

1040 ROUTE 9 NORTH  
CAPE MAY COURT HOUSE, NEW JERSEY 08204  
PHONE: 609 465 4111 FAX: 609 465 9388  
WWW.DESIGNCOLLABORATIVE.COM

SCALE: AS NOTED

COMM. No. 8083

DATE: 7/28/2020

DRAWN BY: lv

CHECKED BY: dod

SHEET TITLE:

FLOOR PLANS & ELEVATIONS  
MAINTENANCE BUILDING

SHEET No.:

A1.2

ATLANTIC COUNTY BOARD OF CHOSEN FREEHOLDERS  
SHAW HOUSE AND MAINTENANCE BUILDING  
EXTERIOR ENVELOPE REPAIRS  
ESTELL MANOR PARK 109 NJ-50, Mays Landing, NJ 08330

LOT 5

ATLANTIC COUNTY

ESTELL MANOR

Linda M. Viveriti, AIA, Secretary/Treasurer  
New Jersey Lic. # 2310000000

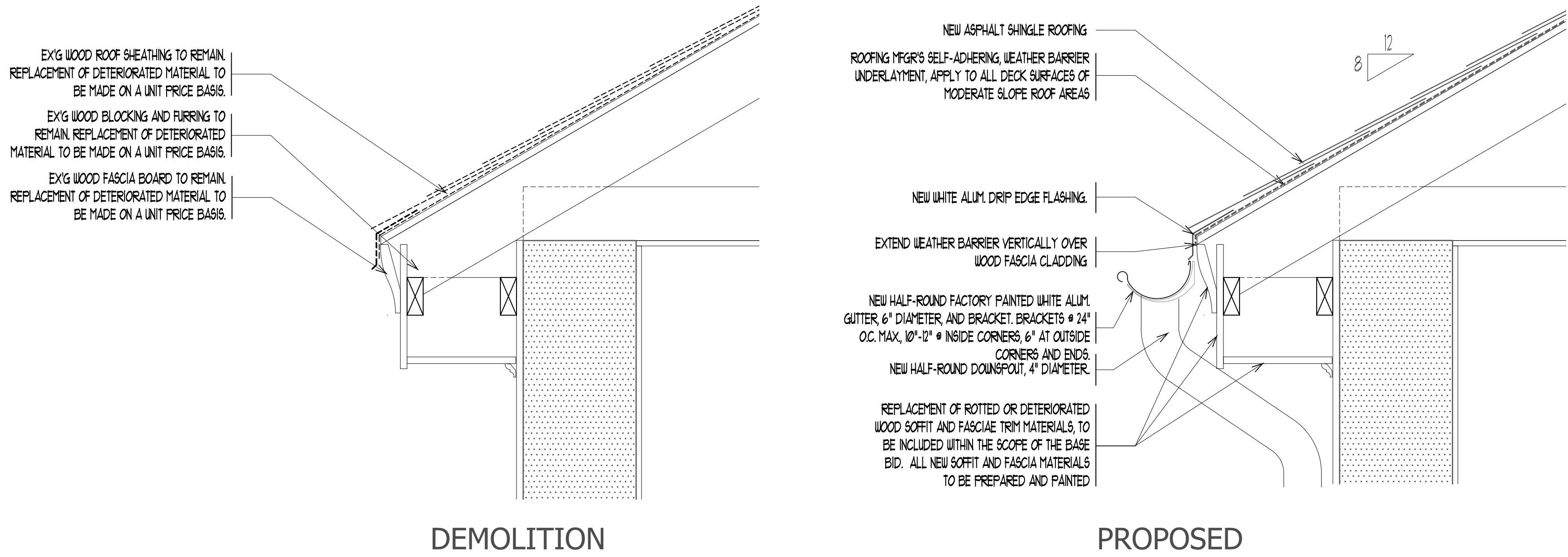
Drew C. Dragler, AIA, President  
New Jersey Lic. # 2310000000

Louis J. DeLongo, AIA, P.P., Vice President  
New Jersey Lic. # 2310000000

DATE

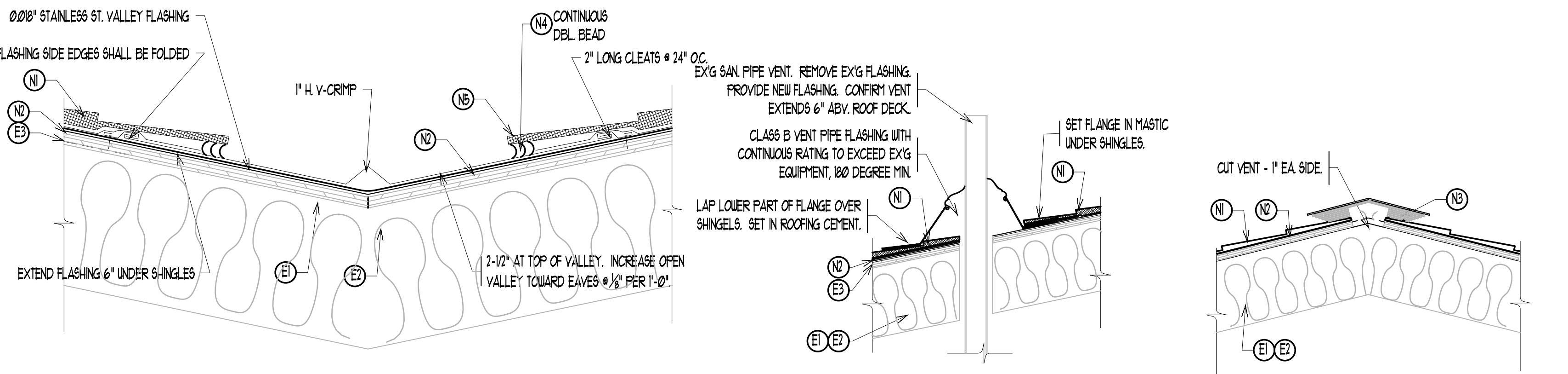
No.

REVISION



### 1 A3.1 TYPICAL ROOF EAVE DETAIL MODERATE SLOPE SHINGLE ROOF

GENERAL NOTE: ALL EXPOSED WOOD TRIM, FASCIA BOARDS, RAKE BOARDS AND SOFFITS SHALL BE CLEANED, RESTORED, PREPARED AND PAINTED. ROTTED AND DETERIORATED MATERIALS SHALL BE REMOVED AND REPLACED AS A PART OF THE BASE CONTRACT SCOPE.



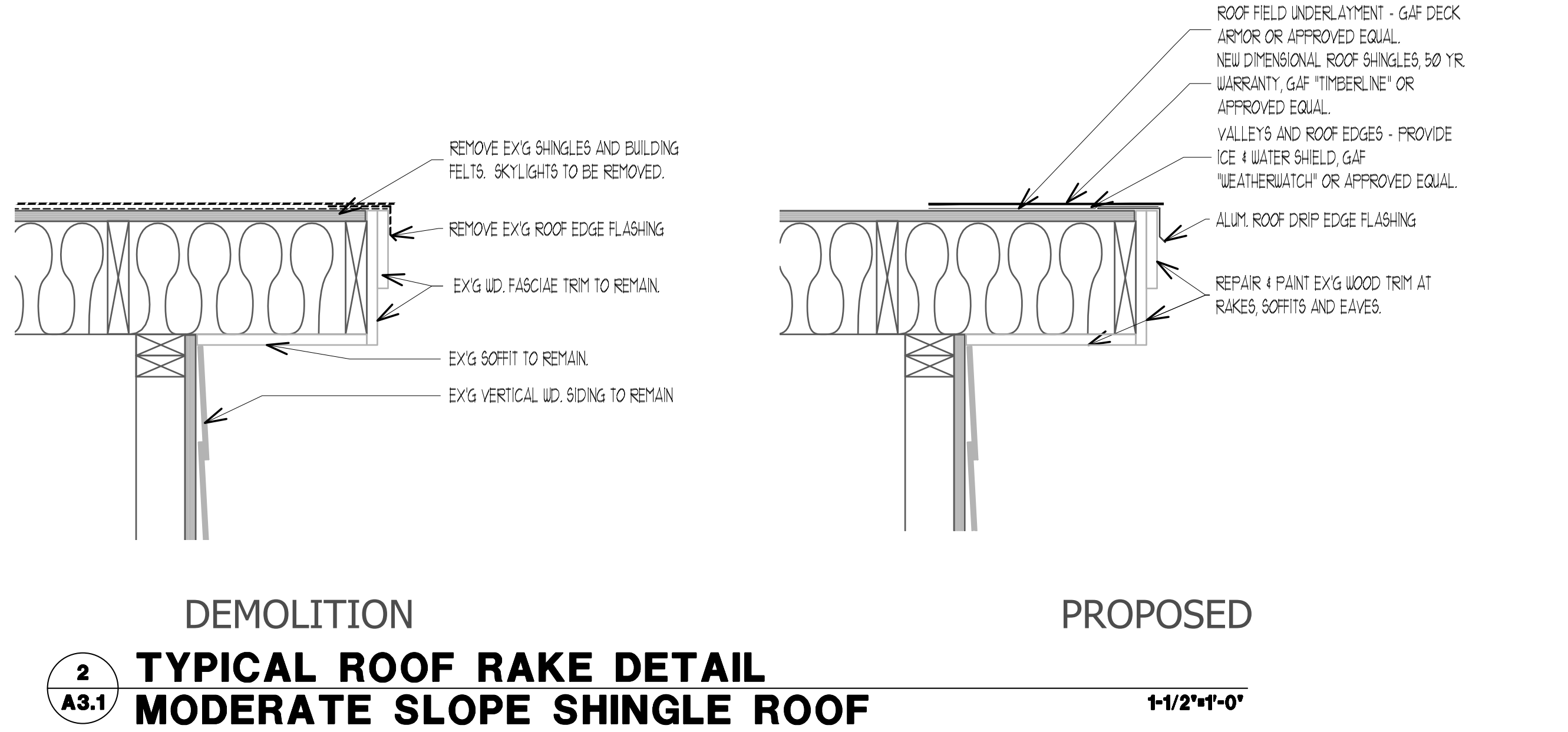
### 3 A3.1 OPEN VALLEY DETAIL

### 4 A3.1 ROOF VENT DETAIL TYP. @ SHAW & MAINTENANCE

### 5 A3.1 RIDGE DETAIL TYP. @ SHAW & MAINTENANCE

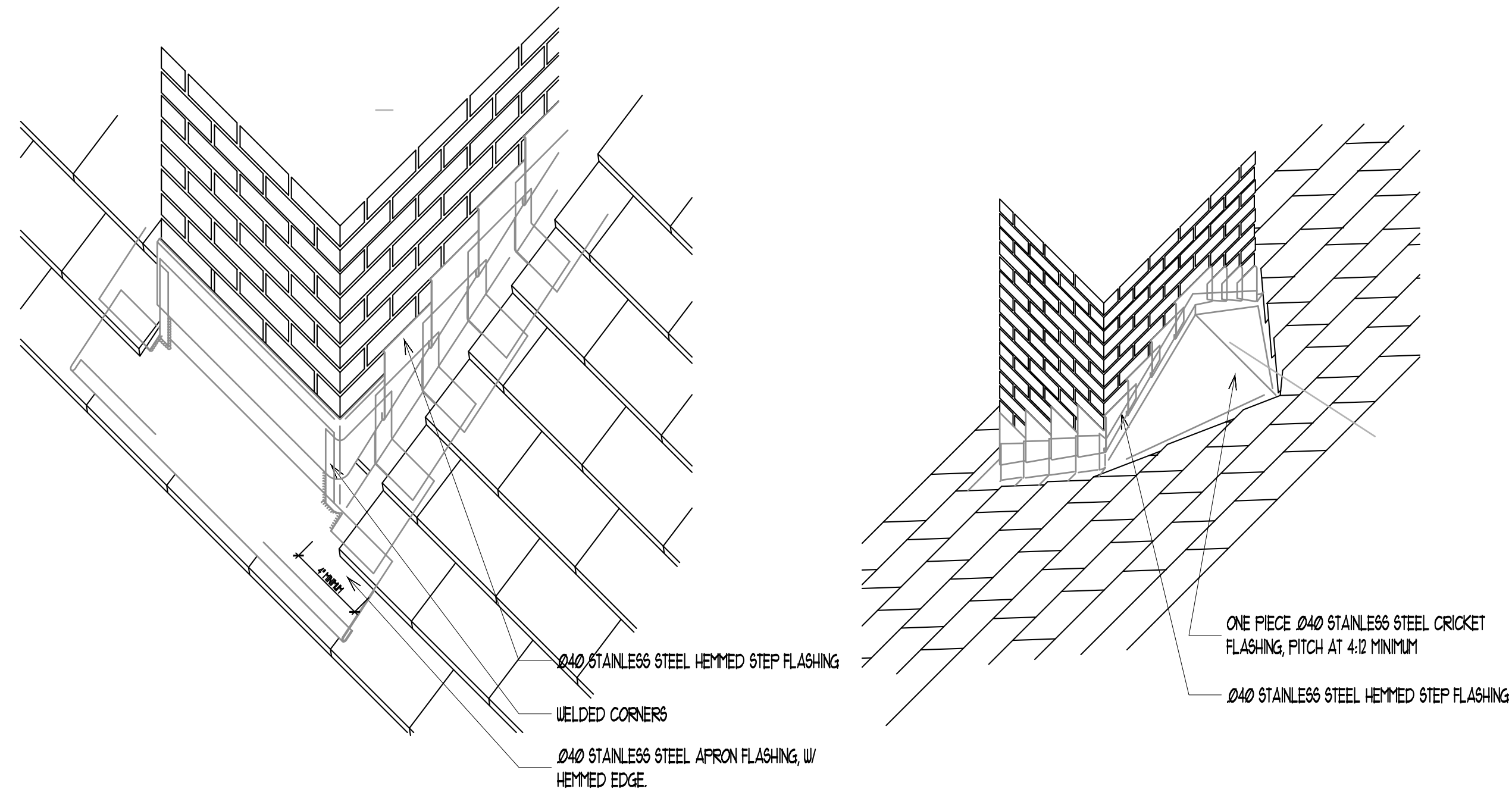
### DETAIL NOTES

- EXISTING MATERIAL NOTES - EXAMPLE: "E"
- EXISTING WOOD FRAMING TO REMAIN.
  - EXISTING INSULATION TO REMAIN.
  - EXISTING WOOD DECKING TO REMAIN.
- NEW WORK NOTES - EXAMPLE: "N"
- NEW DIMENSIONAL SHINGLES - LIFE TIME WARRANTY.
  - ROOF UNDERLAYMENT, GAF "DECK ARMOR" AT ROOF FIELD. PROVIDE GAF "WEATHER GUARD" 22" AT EAVES, VALLEYS & RAKES.
  - NEW COR-A-VENT V-4000 RIDGE VENT. INSTALL CONTINUOUS OVER SHINGLES. SET IN 10" CONT. STRIPS OF SEALANT.
  - NEW SEALANT.
  - NEW SHINGLE STARTER COURSE.



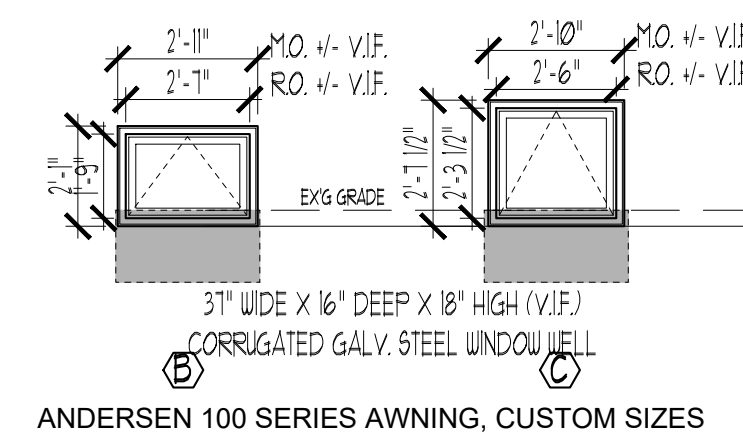
### 2 A3.1 TYPICAL ROOF RAKE DETAIL MODERATE SLOPE SHINGLE ROOF

GENERAL NOTE: ALL EXPOSED WOOD TRIM, FASCIA BOARDS, RAKE BOARDS AND SOFFITS SHALL BE CLEANED, RESTORED, PREPARED AND PAINTED. ROTTED AND DETERIORATED MATERIALS SHALL BE REMOVED AND REPLACED AS A PART OF THE BASE CONTRACT SCOPE.

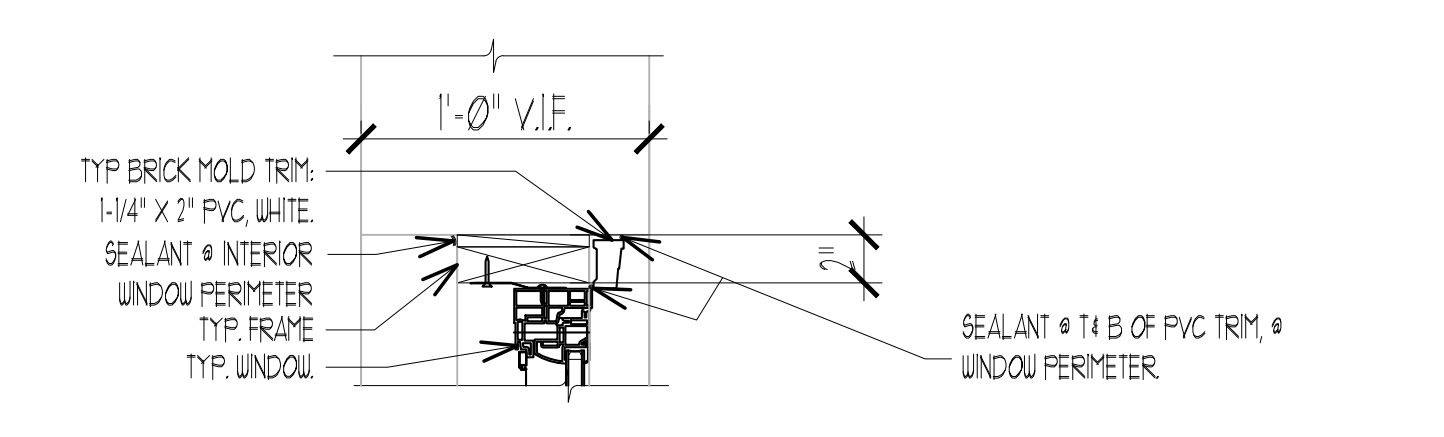


### 6 A3.1 ISOMETRIC FLASHING DETAIL CHIMNEY N.T.S.

### 7 A3.1 ISOMETRIC FLASHING DETAIL CHIMNEY N.T.S.



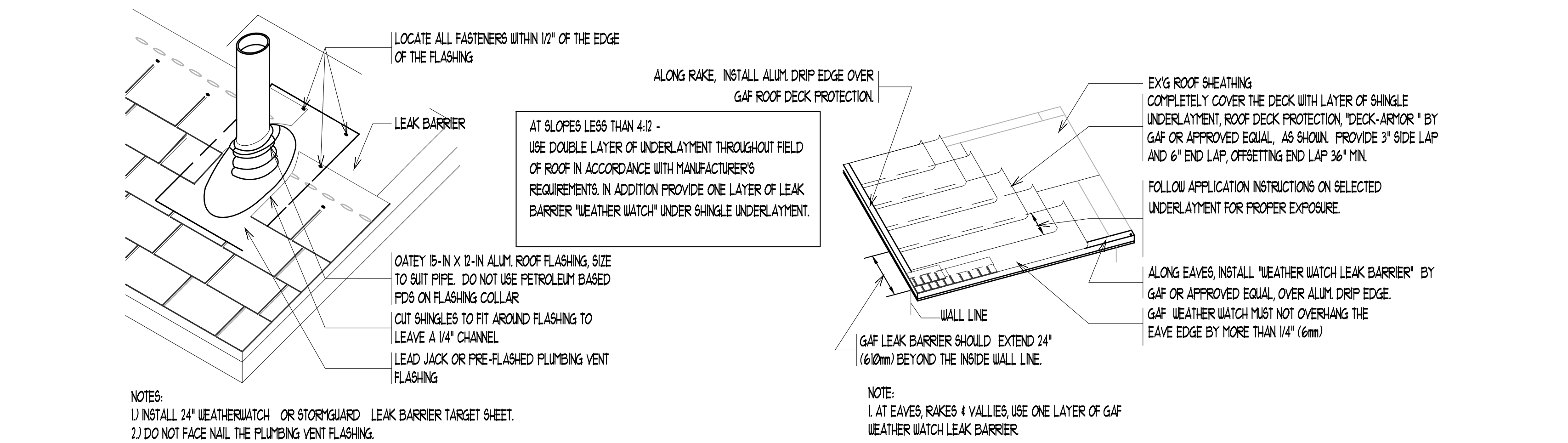
### WINDOW TYPES 1/4" = 1'-0"



### HEAD

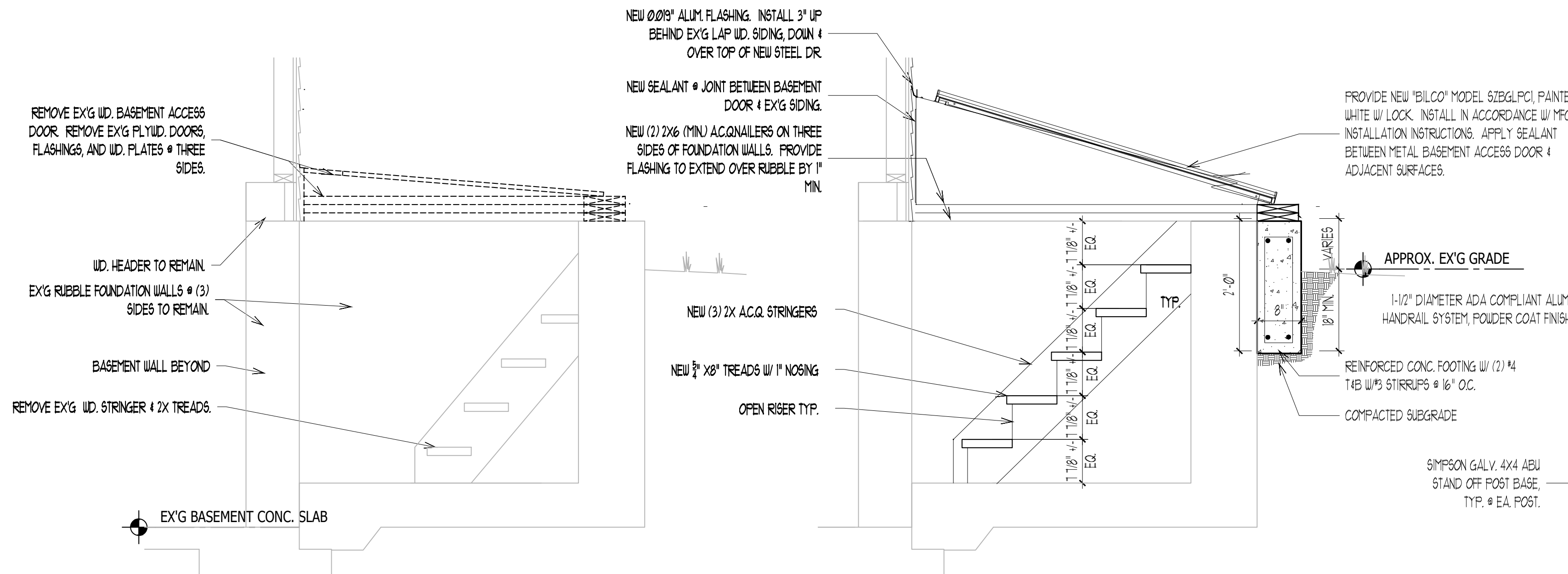
### JAMB

### SILL



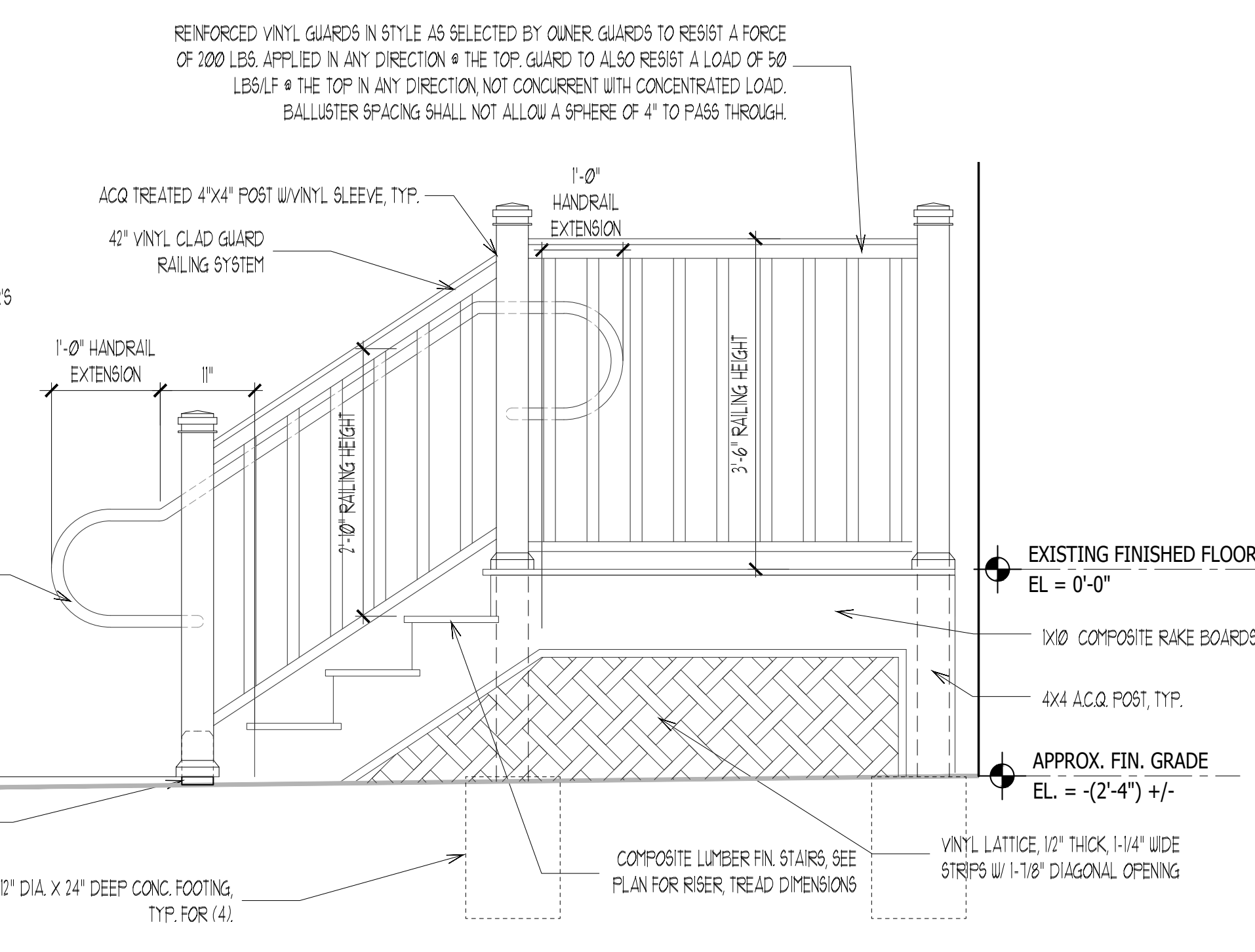
### 8 A3.1 VENT FLASHING DETAIL TYP. @ SHAW & MAINTENANCE

### 9 A3.1 WEATHER-BARRIER DETAIL TYP. @ SHAW & MAINTENANCE



### 10 A3.1 BASEMENT DOOR DETAIL DEMOLITION

### 11 A3.1 BASEMENT DOOR DETAIL PROPOSED



### 12 A3.1 SIDE ELEVATION SHAW SIDE STOOP

### 13 A3.1 WINDOW DETAILS SHAW HOUSE

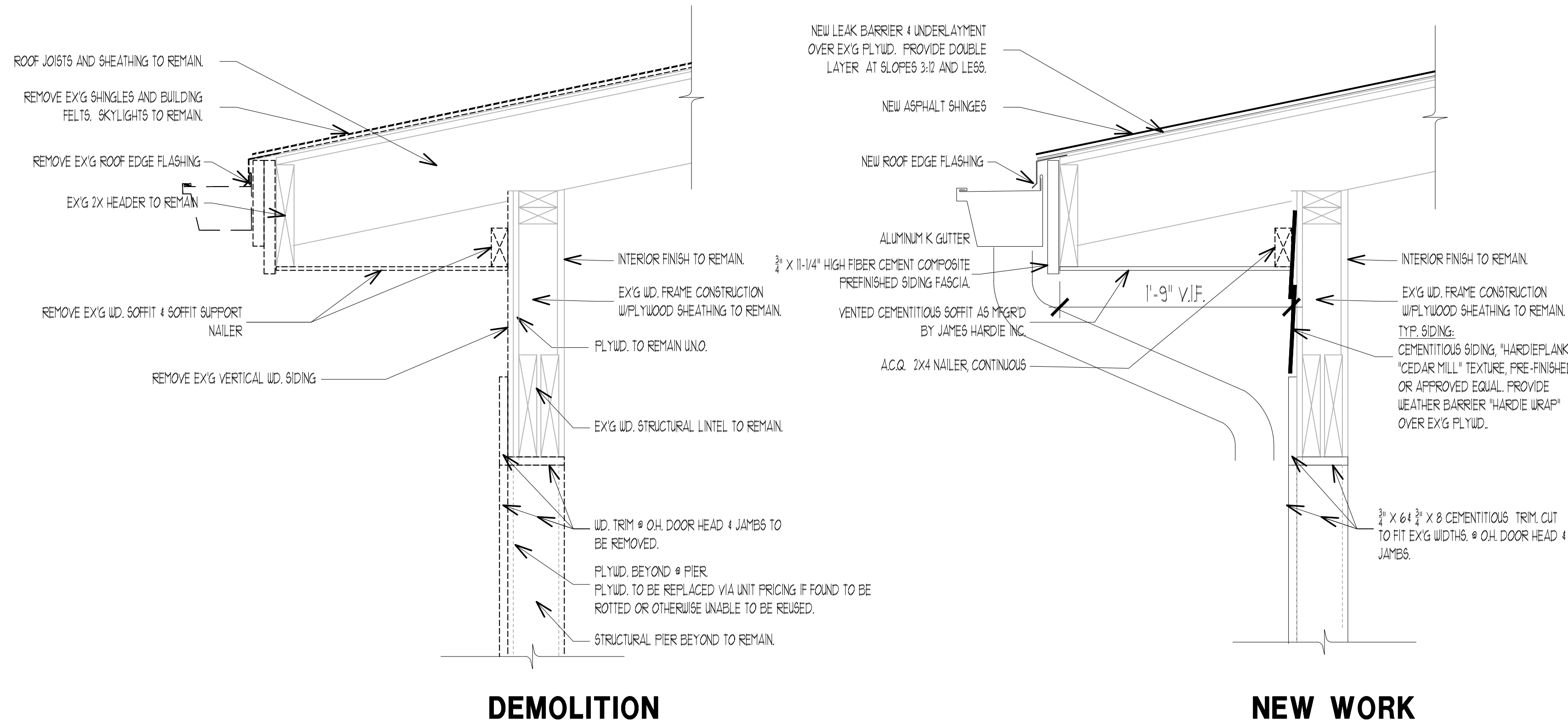
3/4" = 1'-0"



DATE		No.	REVISION
LOT 5		ATLANTIC COUNTY	
ATLANTIC COUNTY BOARD OF CHOSEN FREEHOLDERS		SHAW HOUSE AND MAINTENANCE BUILDING	
ESTELL MANOR PARK 109 NJ-50, Mays Landing, NJ 08330		EXTERIOR ENVELOPE REPAIRS	
BLOCK 51		ESTELL MANOR	
KEY PLAN:		Drew C. Dragler, AIA, President New Jersey Lic. # 231000000	
THE DESIGN COLLABORATIVE		ARCHITECTS AND PLANNERS, P.A.	
100 ROUTE 9 NORTH		CAPE MAY COURT HOUSE, NEW JERSEY 0820	
PHONE: 609 465 4111		FAX: 609 465 9338	
WWW.DESIGNCOLLABORATIVE.COM		SCALES: AS NOTED	
DRAWN BY: IV		CHECKED BY: dod	
DATE: 7/28/2020		SHORT TITLE:	
DETAILS		SHAW HOUSE	
SHORT No.:		A3.1	

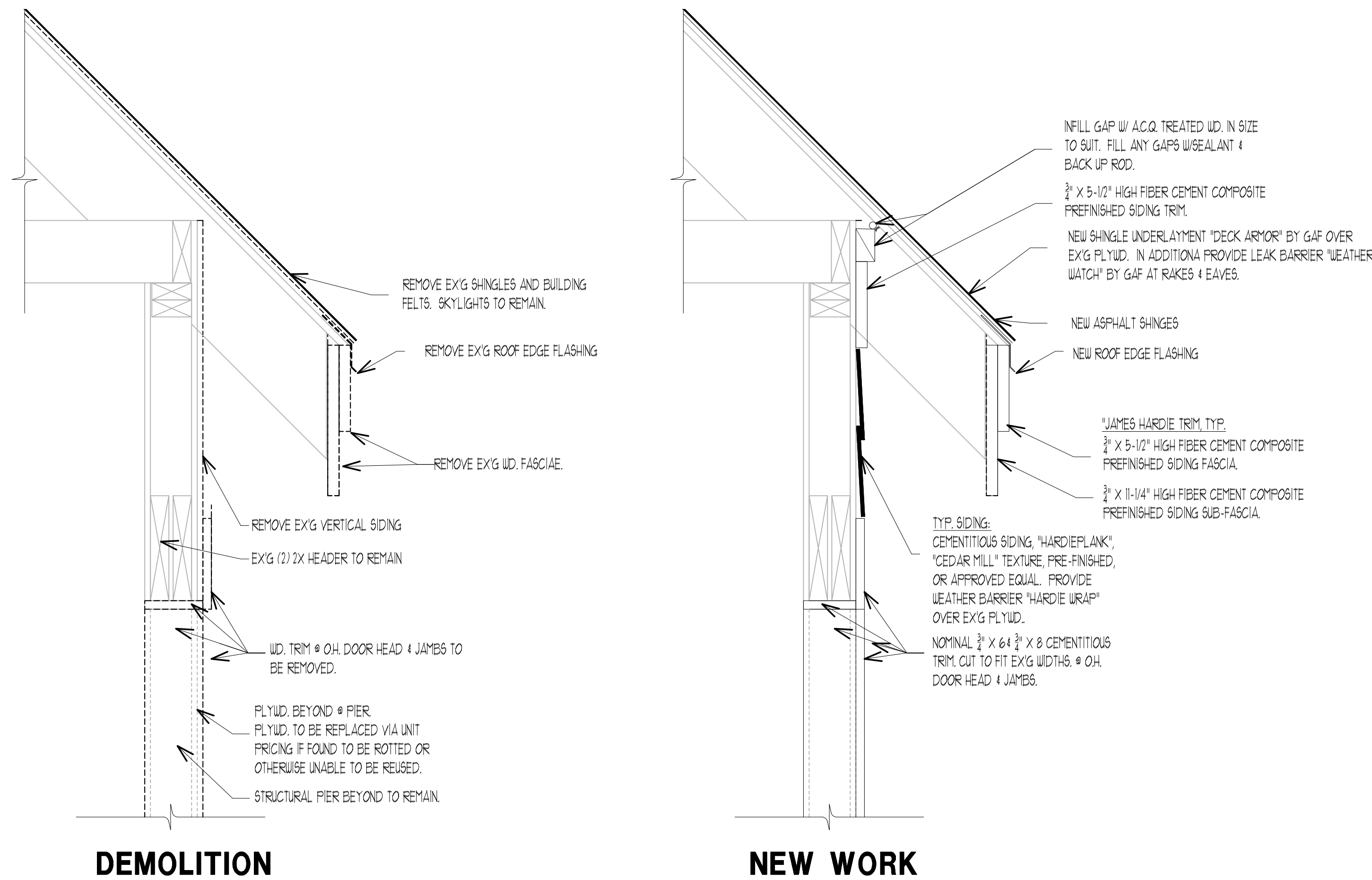


FILE: G:\PROJECTS\8883\Architectural\A1-A8 Series\A1-A803 A3 Detail.dwg DATE: 8/28/2020 4:39 PM USER: Linda Viventi



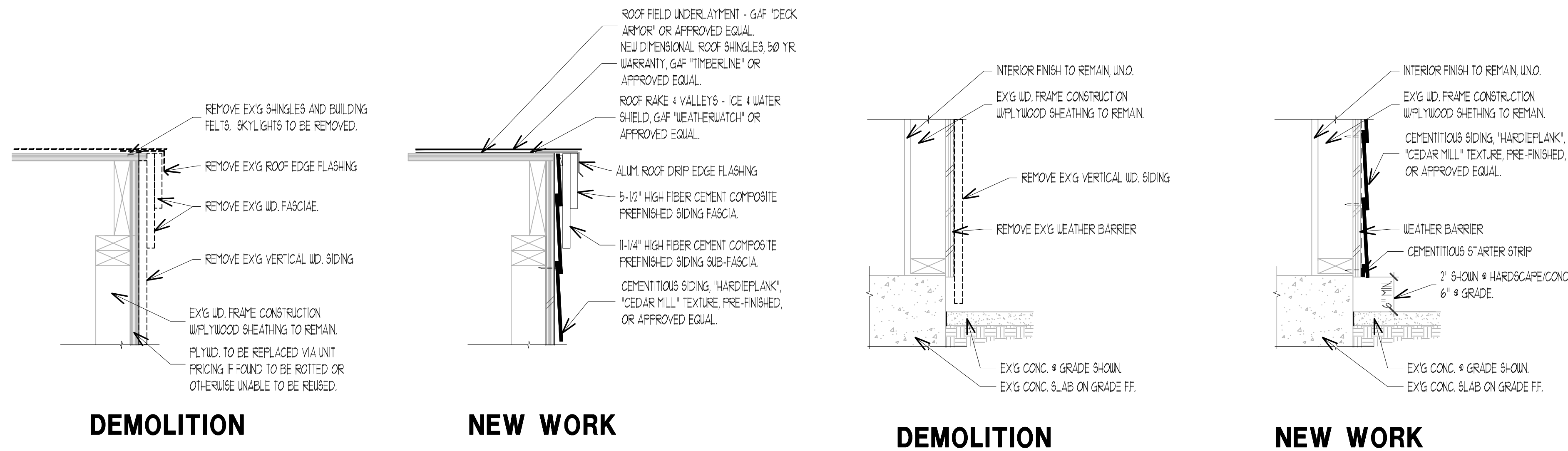
1  
A3.2  
**EAVE DETAIL - NORTH**

1-1/2"=1'-0"



2  
A3.2  
**EAVE DETAIL - SOUTH**

1-1/2"=1'-0"

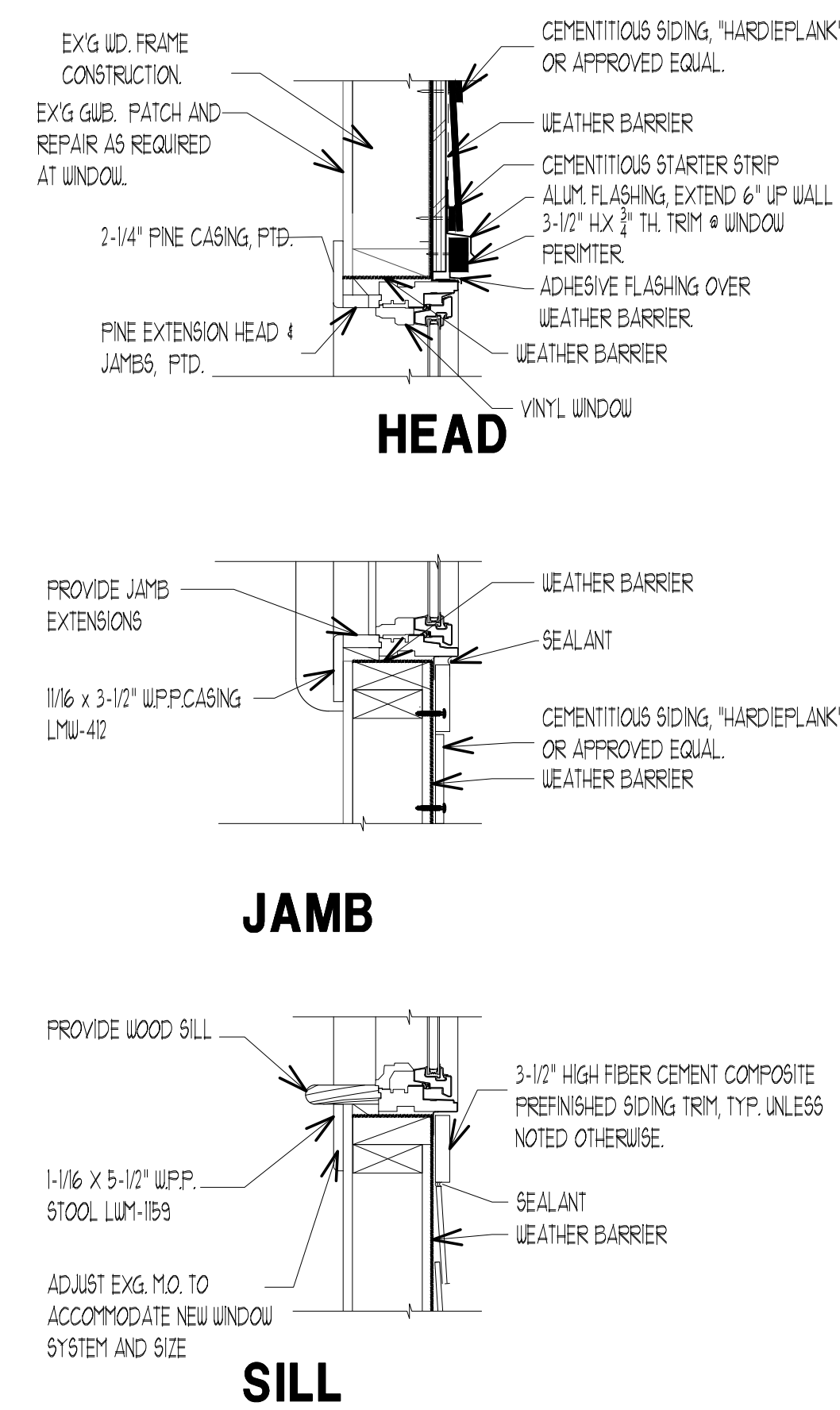


3  
A3.2  
**SIDING & ROOF DETAILS  
RAKE**

1-1/2"=1'-0"

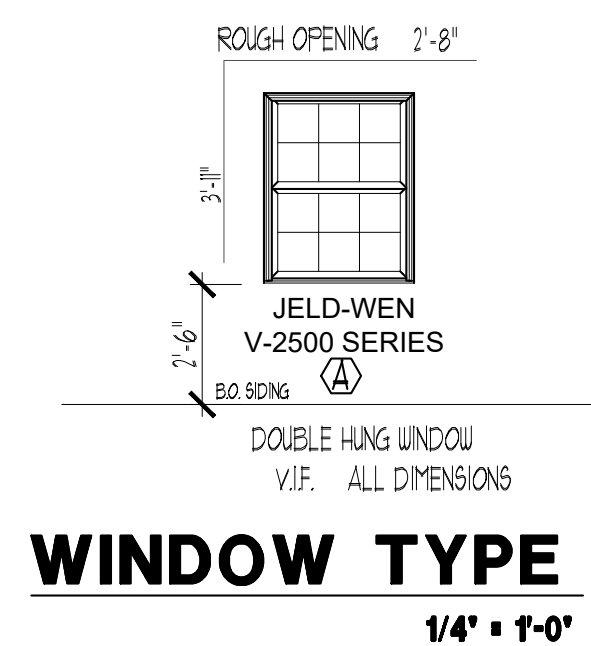
4  
A3.2  
**SIDING DETAILS  
BASE**

1-1/2"=1'-0"



5  
A3.2  
**WINDOW DETAILS**

1-1/2"=1'-0"



LOT 5		ATLANTIC COUNTY	
ATLANTIC COUNTY BOARD OF CHOSEN FREEHOLDERS		ATLANTIC COUNTY	
SHAW HOUSE AND MAINTENANCE BUILDING		ATLANTIC COUNTY	
EXTERIOR ENVELOPE REPAIRS		ATLANTIC COUNTY	
ESTELL MANOR PARK 109 NJ-50, Mays Landing, NJ 08330		ATLANTIC COUNTY	
BLOCK 51		ATLANTIC COUNTY	
ESTELL MANOR		ATLANTIC COUNTY	
KEY PLAN:		ATLANTIC COUNTY	
THE DESIGN COLLABORATIVE		ATLANTIC COUNTY	
ARCHITECTS AND PLANNERS, P.A.		ATLANTIC COUNTY	
1840 ROUTE 9 NORTH		ATLANTIC COUNTY	
CAPE MAY COURT HOUSE, NEW JERSEY 0820		ATLANTIC COUNTY	
PHONE: 609 465 4111 FAX: 609 465 9388		ATLANTIC COUNTY	
WWW.DESIGNCOLLABORATIVE.COM		ATLANTIC COUNTY	
SCALE: AS NOTED		ATLANTIC COUNTY	
CONVL. No.: 8083		ATLANTIC COUNTY	
DATE: 7/28/2020		ATLANTIC COUNTY	
DRAWN BY: lv		ATLANTIC COUNTY	
CHECKED BY: dod		ATLANTIC COUNTY	
SHEET TITLE:		ATLANTIC COUNTY	
DETAILS		ATLANTIC COUNTY	
MAINTENANCE BUILDING		ATLANTIC COUNTY	
SHEET No.: A3.2		ATLANTIC COUNTY	