

ADDENDA

TO ALL BIDDERS OF THE

PHASE 1 – BUILDING MODIFICATIONS
TEMPORARY CLASSROOM UNITS

FOR

LAWNSIDE BOARD OF EDUCATION

CAMDEN COUNTY, NEW JERSEY

ADDENDUM NO. 1

You are hereby notified in accordance with the paragraph entitled "Interpretation and Addenda" of the above captioned project that the following has been issued to clarify the meaning of the specifications and the conditions and specifications set forth in said addendum are to be considered as binding as if the same was set forth in the original contract documents.

ATTACH THIS ADDENDUM TO THE SPECIFICATIONS WHEN SUBMITTING BID.

A. Drawings

1. A-1.0 shall be replaced with A-1.0R
2. Drawings M-1.0 thru M-3.01 have been removed from the scope.

B. Specifications

1. All specification sections within DIVISION 23 shall be removed from the scope (230550 thru 233713). See TECH TOC – 1, Addendum No.1 – TECH TOC – 2, Addendum No.1

I acknowledge receipt of this Addendum:

Signature

Company

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DEBARMENT LIST

The list of debarred firms and individuals can be reviewed at the following web address:
https://www.nj.gov/labor/wagehour/wagerate/prevailing_wage_debarment_list.html

PREVAILING COUNTY & STATE WAGE RATES

Prevailing wage rates are available online at the following web address:
https://www.nj.gov/labor/wagehour/wagerate/pwr_construction.html.

A copy will be included with each contract set provided to the awarded contractor.

END OF TABLE

REMINGTON & VERNICK ENGINEERS
 375 HUNTERS LANE, SUITE 100
 HUNTSVILLE, AL 35894
 (256) 895-9958 FAX (256) 895-1882
 WWW.RVE.COM

DATE: **ANNINA M. HOGAN**
 PROFESSIONAL ENGINEER, No. 43938

LANNETT GEORGE
 ARCHITECTURAL DESIGN
 10000 WOODLAND DRIVE, SUITE 100
 HUNTSVILLE, AL 35894
 (256) 895-9958

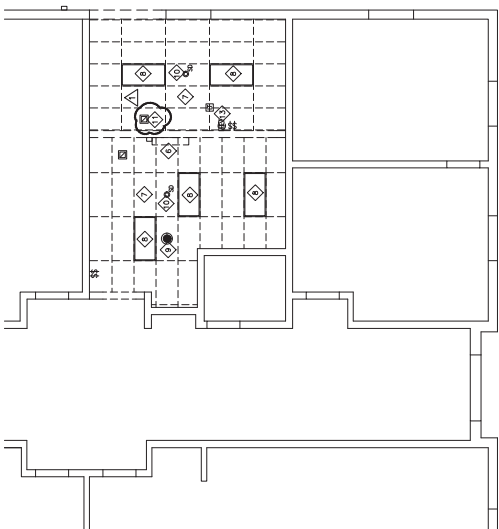
When Lannett-George, Inc. is used in connection with any project, it is understood that the user agrees to indemnify and hold Lannett-George, Inc. harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by Lannett-George, Inc. in connection with the project.

NO.	DATE	REVISION
1	05/03	ACCORDING TO NO. 1

NO.	DATE	REVISION
1	05/03	ACCORDING TO NO. 1

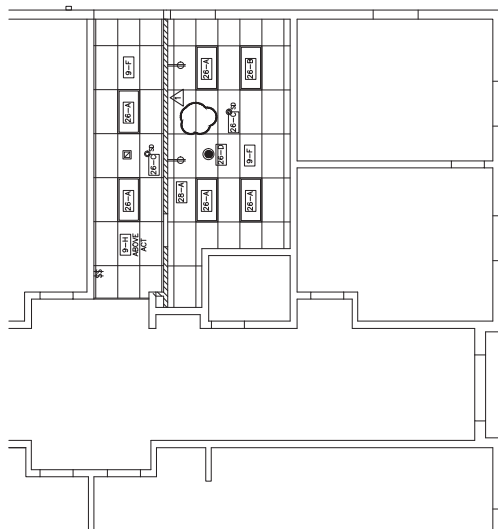
DEMOLITION AND PROPOSED FLOOR PLANS
 LAMSONS BOARD OF EDUCATION
 PHASE 1 - BUILDING MODIFICATIONS
 TEMPORARY CLASSROOM UNIT
 REED
 BOROUGHS OF LAMSONS
 CAMDEN COUNTY
 NEW JERSEY

SCALE: 1/8" = 1'-0"	DATE: 05/03	BY: JMH	STATUS: REVISED
DRAWN BY: JMH		CHECKED BY: JMH	
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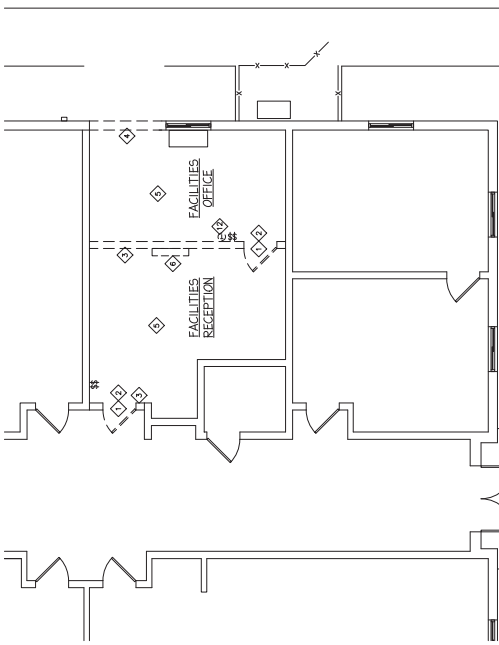
- DEMOLITION LEGEND**
- INDICATES EXISTING WALLS TO REMAIN
 - INDICATES DEMOLITION OF WALLS, DOORS, BUILT-IN CABINETS AND EQUIPMENT, FURNITURE AND FIXTURES, CASSETTE
- DEMOLITION NOTES**
- REMOVE EXISTING DOORS AND HINGERS, COMPLETE, SANITAGE FOR RENOVATION AND/OR RELOCATE TO COMPLETE UNIT AND FINISH TO ORIGINAL CONDITION. MINIMUM 1/2" REGRIND.
 - REMOVE EXISTING HOLLOW METAL DOOR FRAME COMPLETE.
 - REMOVE EXISTING CHAIR WALL COMPLETE TO TRUSS/PIPE GASKIN ABOVE ALL WALLS LEFT EXPOSED SHALL BE REFINISHED, PRIMED AND PAINTED TO MATCH EXISTING ADJACENT SURFACES.
 - REMOVE EXISTING CHAIR/RECK WALL AS SHOWN ON DETAIL. INSTALL NEW LEVEL, REPAIR & PATCH EXPOSED WALL SURFACES TO MATCH ADJACENT SURFACES.
 - REMOVE EXISTING CHAIR FLOORING AND WALL BASE, COMPLETE, PATCH EXISTING SUB AS SHOWN ON DETAIL.
 - REMOVE EXISTING WALL MOUNTED SPLIT SYSTEM UNIT.
 - REMOVE EXISTING ACoustICAL CEILING TILE AND GRID SYSTEM, COMPLETE.
 - REMOVE EXISTING 2x4 LIGHT FIXTURE, SANITAGE FIXTURE AND ACCESSORIES AS REQUIRED TO RELOCATE AT NEW LOCATION. RE-SPEC TO CORRIDOR AND NEW STORAGE ROOM. SEE ELECTRICAL DRAWINGS.
 - RELOCATE EXISTING SPEAKERS, SANITAGE SPEAKER AND ALL ACCESSORIES AS REQUIRED TO REINSTALL AT NEW LOCATION. SEE ELECTRICAL DRAWINGS.
 - RELOCATE EXISTING SMOKE/HEAT DETECTOR, SANITAGE SMOKE/HEAT DETECTOR AND ALL ACCESSORIES AS REQUIRED TO REINSTALL AT NEW LOCATION. SEE ELECTRICAL DRAWINGS.
 - REMOVE EXISTING RETURN REGISTER AND CAP DUCTWORK.
 - RELOCATE EXISTING THERMOSTAT, SANITAGE ALL ACCESSORIES AS REQUIRED TO REINSTALL AT NEW LOCATION.
 - RELOCATE EXISTING FIRE STROBE, SANITAGE ALL ACCESSORIES AS REQUIRED TO REINSTALL AT NEW LOCATION. SEE ELECTRICAL DRAWINGS.

DEMOLITION REFLECTED CEILING PLAN
 SCALE: 3/16" = 1'-0"

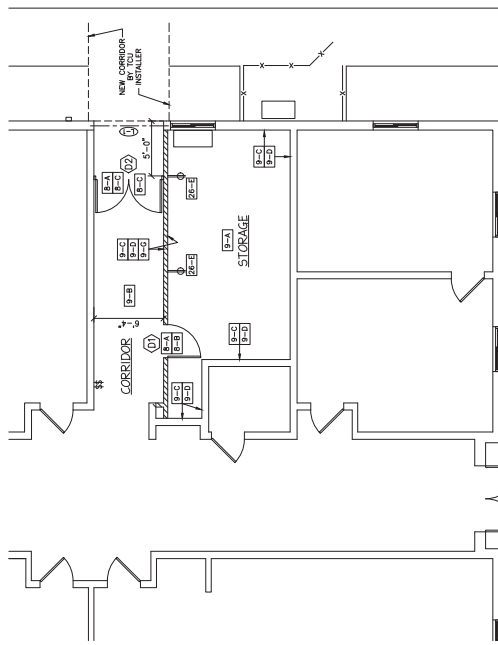


- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THE SPECIFIED WORK, REGARDLESS OF WHETHER OR NOT A PARTICULAR DETAIL IS SPECIFICALLY MENTIONED IN THESE CONTRACT DOCUMENTS.
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 - CONTRACTOR SHALL BE RESPONSIBLE TO PERMANENTLY SUPPORT ALL PIPING, DUCTWORK, EQUIPMENT PRESENT DURING DEMOLITION, CONSTRUCTION, AND PAINTING. ANY SURFACES, EQUIPMENT, OR STRUCTURES THAT ARE DAMAGED OR DESTROYED DURING DEMOLITION SHALL BE BROUGHT BACK TO EXISTING OR BETTER CONDITIONS OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - ANY PATCHING REQUIRED SHALL BE PAINTED TO MATCH EXISTING SURFACE. MATCH CORNER FLOOR TO CEILING. ALL ELECTRICAL OR MISC SHALL BE REMOVED FROM CORNER TO CORNER.
 - CONTRACTOR SHALL BE RESPONSIBLE TO FINISH SMOOTH CUT EDGE OF MASONRY WALLS WITH GROUT, FINISH FLUSH AND PAINT TO MATCH ADJACENT SURFACES.
- MATERIAL KEYNOTES**
- DOORS AND WINDOWS
 - NEW HOLLOW METAL DOOR FRAME, PRIMED AND PAINTED TO MATCH EXISTING ADJACENT DOOR FRAME.
 - NEW HOLLOW METAL DOOR FRAME, PRIMED AND PAINTED TO MATCH EXISTING ADJACENT DOOR FRAME. MINIMUM 1/2" UNDERCUT RECALL.
 - NEW WOOD DOOR AND HINGERS.
 - NEW CARPET TILE TO MATCH EXISTING CORRIDOR.
 - NEW CERAMIC FLOORING TO MATCH EXISTING STAIRWELL. INSTALLED AT ALL NEW AND EXPOSED WALLS.
 - NEW VINYL WALL BASE TO MATCH EXISTING SURFACES.
 - PRIME AND PAINT ALL EXPOSED SURFACES.
 - NEW 2" x 4" x 8" STUDS TO MATCH EXISTING CONDITIONS.
 - NEW 1/2" OSB (OR LVL, TYPE SCS), TYPE & SPOKED, PRIMED AND PAINTED TO MATCH EXISTING SURFACES.
 - IF FIRE ASSEMBLY IS DAMAGED DURING DEMOLITION/CONSTRUCTION - NEW 5/8" FIRE RESISTANT CORE TYPE 1 HOOK FIRE RATED CEILING ASSEMBLY (C, PPSA, PPSA, PPSA) (TYP).
 - MECHANICAL
 - ELECTRICAL
 - RELOCATED LIGHT FIXTURES. SEE ELECTRICAL DRAWINGS.
 - RELOCATED SMOKE/HEAT DETECTOR. SEE ELECTRICAL DRAWINGS.
 - RELOCATED SMOKE/HEAT DETECTOR. SEE ELECTRICAL DRAWINGS.
 - RELOCATED SPEAKER. SEE ELECTRICAL DRAWINGS.
 - NEW DUPLEX RECEPTACLE. SEE ELECTRICAL DRAWINGS.
 - FIRE PROTECTION
 - RELOCATED FIRE STROBE. SEE ELECTRICAL DRAWINGS.

PROPOSED REFLECTED CEILING PLAN
 SCALE: 3/16" = 1'-0"



DEMOLITION FLOOR PLAN
 SCALE: 3/16" = 1'-0"



PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"