

# DESIGN CODE CRITERIA

THIS REHABILITATION IS DESIGNED IN ACCORDANCE WITH N.J.A.C. TITLE 5, CHAPTER 23, SUBCHAPTER 6, "UNIFORM CONSTRUCTION CODE, REHABILITATION SUBCODE".  
CATEGORY OF WORK: RENOVATION

INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION, 2021  
NATIONAL STANDARD PLUMBING CODE 2021

## ADD / ALTERNATE BID

- ALTERNATE BID NO. 1:
  - URETHANE CEMENT FLOORING - HOLDING/PROCESSING AREA; REMOVAL OF EXISTING FLOORING AND INSTALLATION OF NEW URETHANE CEMENT FLOORING, BASE TRIM, MARBLE THRESHOLDS, AND ACCESSORIES, AS SHOWN ON THE CONSTRUCTION DOCUMENTS.
- ALL ITEMS TO BE INCLUDED IN THE ALTERNATE BID ARE DELINEATED BY THE  $\Delta$  SYMBOL AND ARE CLOUDED THROUGHOUT THESE DRAWINGS.

## GENERAL NOTES

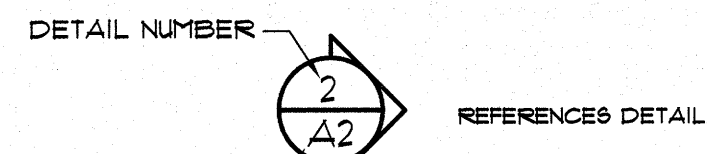
- DETAIL REFERENCES ARE TYPICAL FOR ALL LIKE ITEMS.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- CONTRACTOR TO REMOVE ALL EXISTING LOCKERS, BENCHES, AND TABLES.

## INDEX OF DRAWINGS

A1 FLOOR PLAN AND DETAILS

## LEGEND

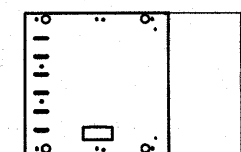
AREA DESIGNATED FOR CONTRACTOR TO PROVIDE NEW URETHANE CEMENT FLOORING OVER PREPARED EXISTING CONCRETE SLAB WITH NEW RESINOUS INTEGRAL COVE BASE WITH 3/4" RADIUS



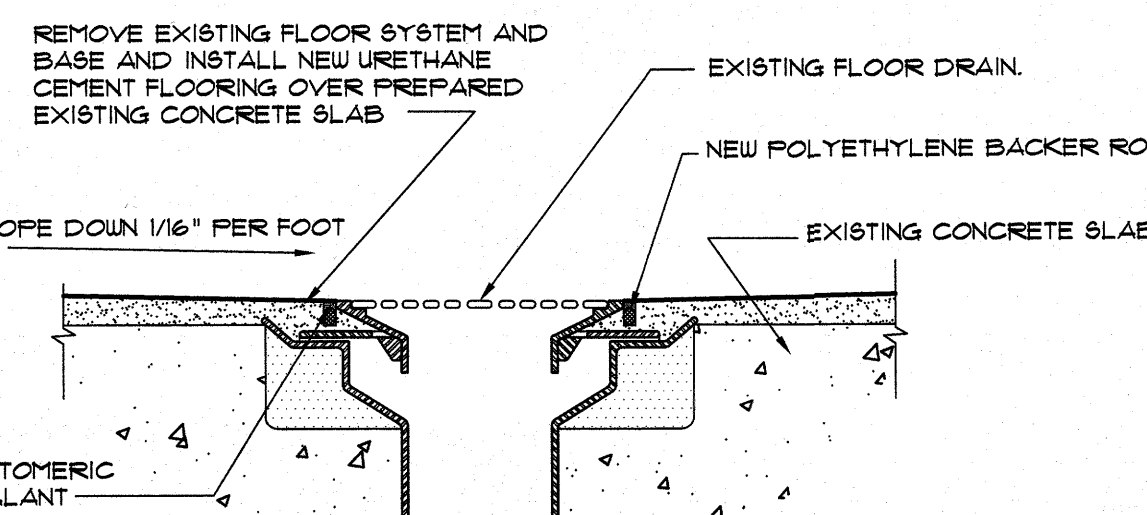
REFERENCES DETAIL.



NEW METAL THRESHOLD TO BE INSTALLED. REFER TO DETAIL 1/A1



NEW METAL LOCKERS. REFER TO SPECIFICATIONS SECTION 10 51 14

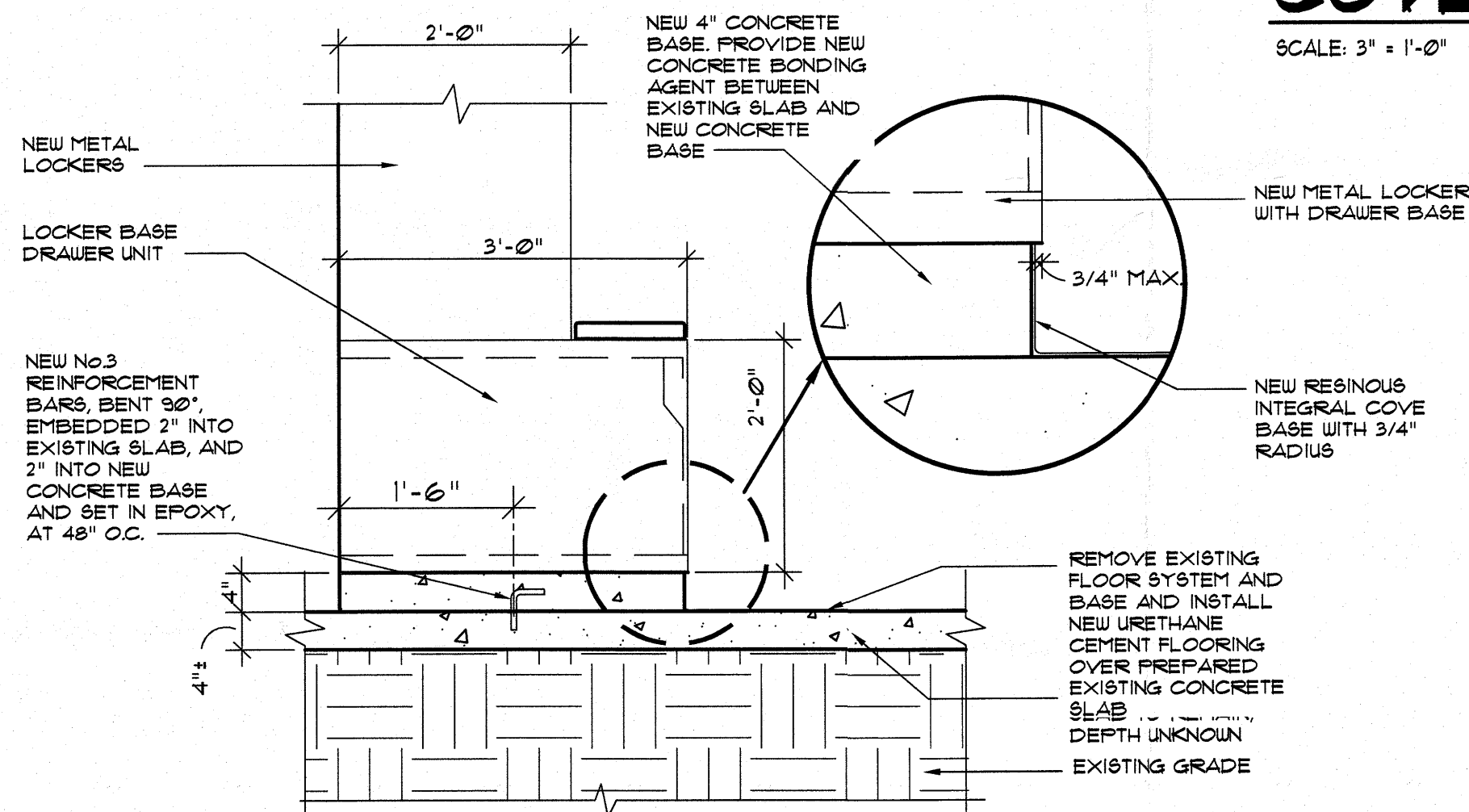


## FLOOR DRAIN DETAIL, TYPICAL

SCALE: 1/4" = 1'-0"

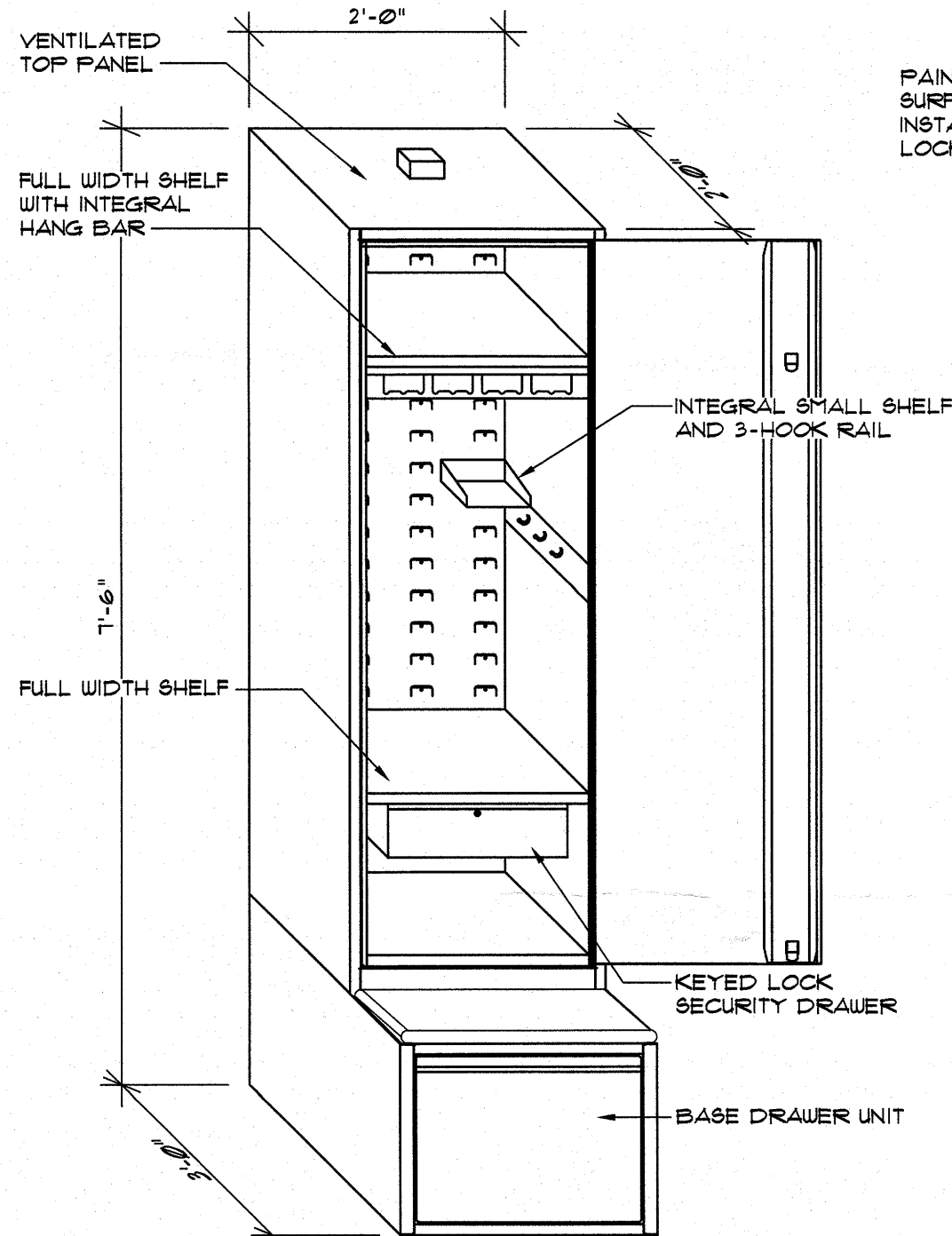
## RESINOUS INTEGRAL COVE BASE DETAIL

SCALE: 3" = 1'-0"



## SECTION THROUGH LOCKER (TYP.)

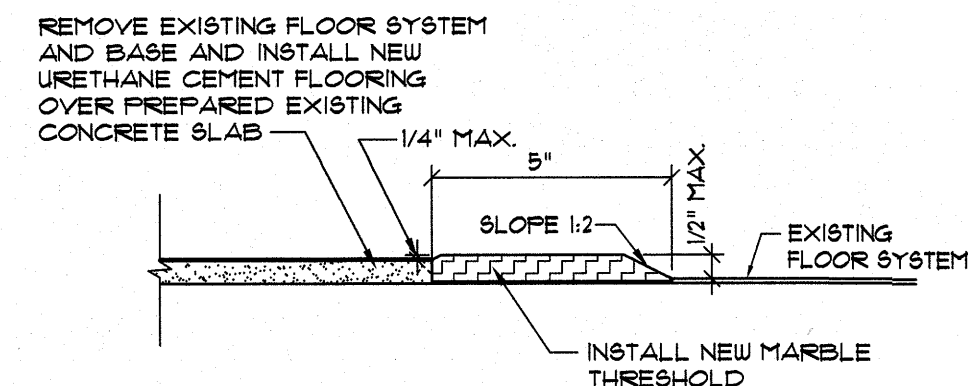
SCALE: 1/2" = 1'-0"



REFER TO SPECIFICATIONS SECTION 10 51 14 FOR ALL LOCKER ACCESSORIES  
REFER TO TYPICAL SECTION THROUGH LOCKER BASE FOR CONCRETE BASE INSTALLATION

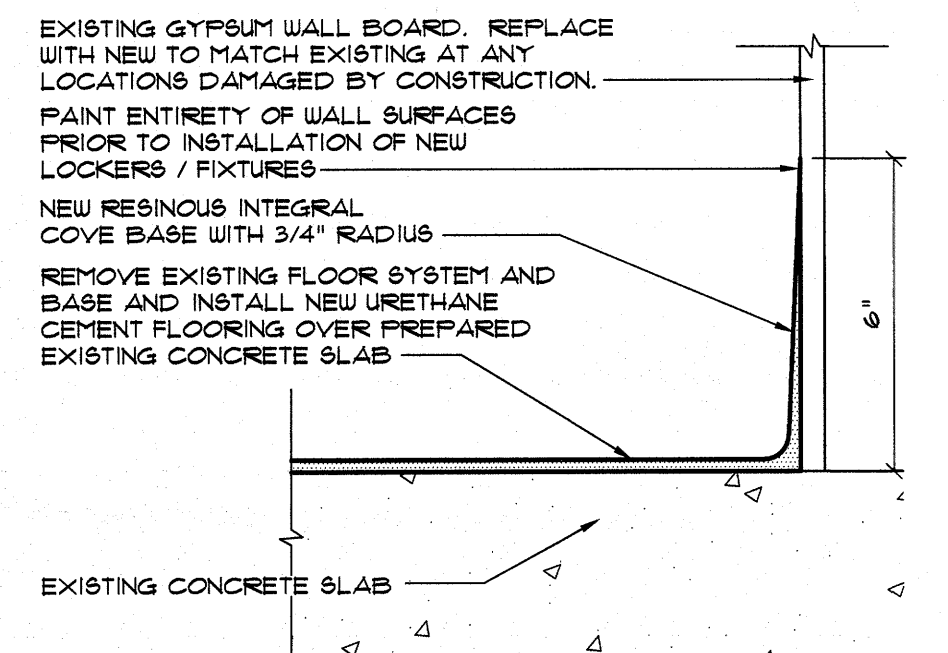
## LOCKER ELEVATION

NOT TO SCALE



## THRESHOLD DETAIL

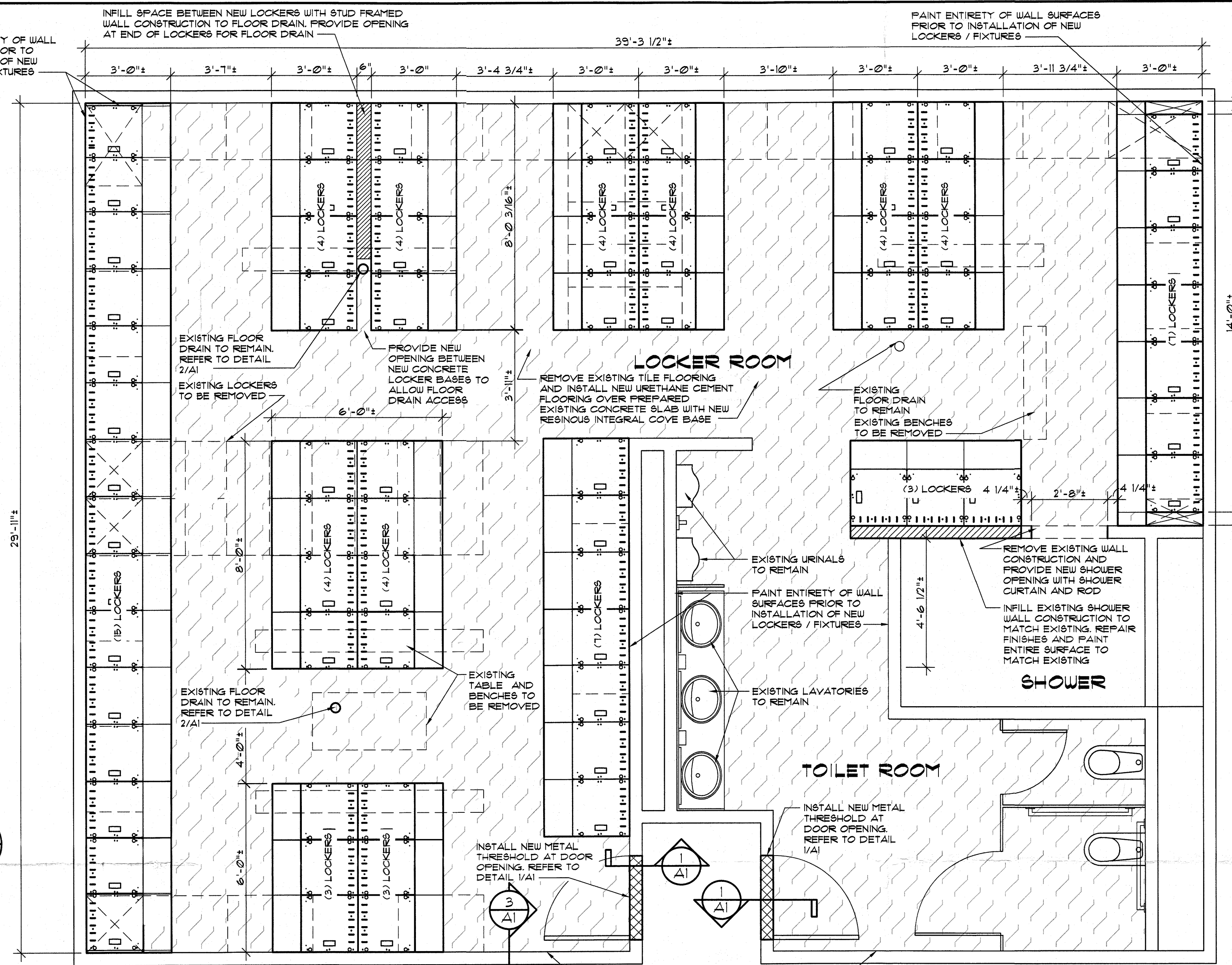
SCALE: 3" = 1'-0"



NOTE: CONTRACTOR TO PREPARE CONCRETE SLAB IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO NEW URETHANE CEMENT FLOORING APPLICATION.

## RESINOUS INTEGRAL COVE BASE DETAIL

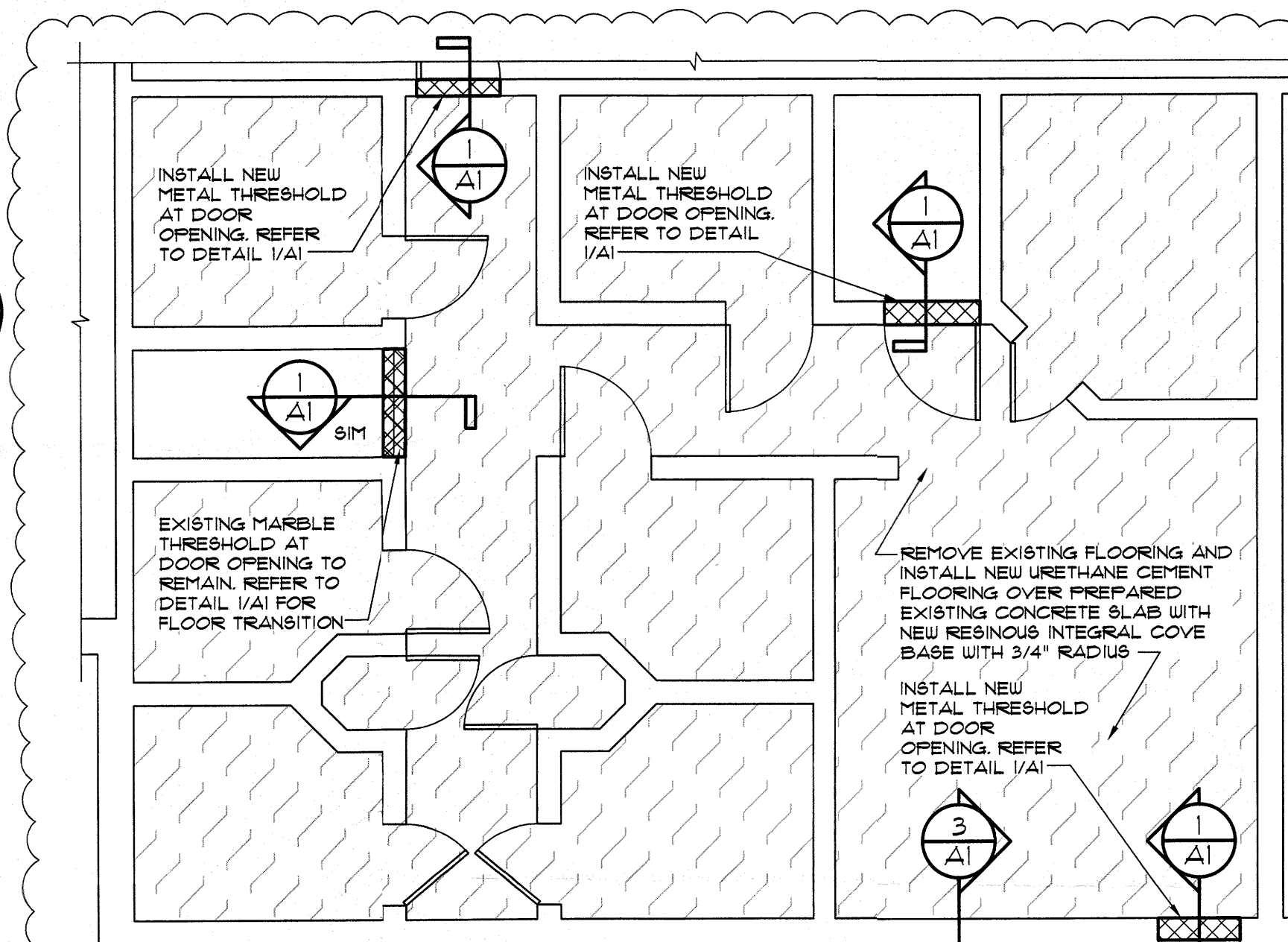
SCALE: 3" = 1'-0"



## LOCKER ROOM FLOOR PLAN

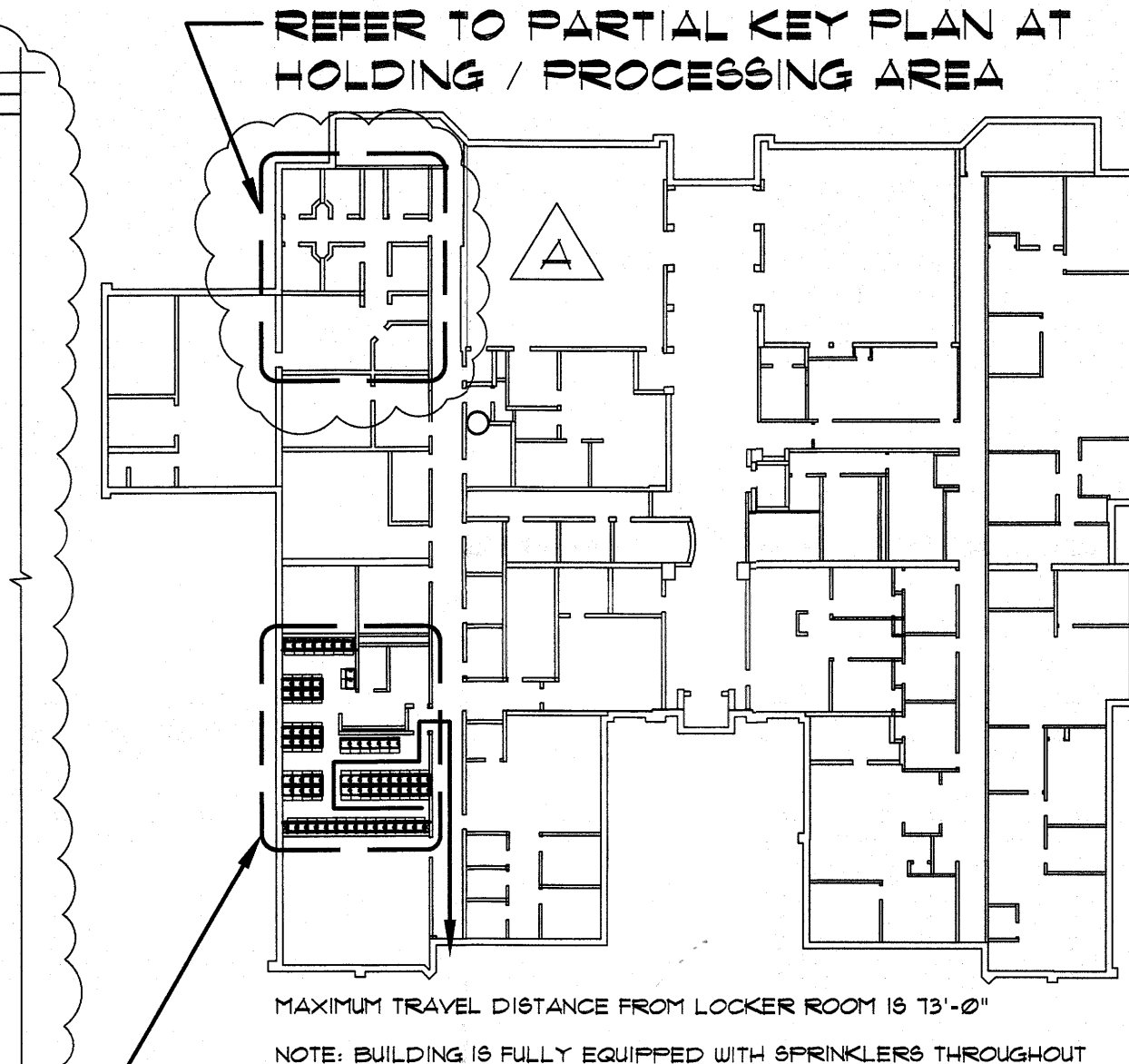
SCALE: 3/8" = 1'-0"

NOTE: CONTRACTOR TO REMOVE EXISTING FLOORING AND INSTALL NEW URETHANE CEMENT FLOORING OVER PREPARED EXISTING CONCRETE SLAB WITH NEW RESINOUS INTEGRAL COVE BASE WITH 3/4" RADIUS  
CONTRACTOR TO PAINT ALL WALL SURFACES THROUGHOUT LOCKER ROOM AND TOILET ROOM PRIOR TO INSTALLATION OF NEW LOCKERS AND FIXTURES.  
NEW LOCKERS TO BE CUSTOM FABRICATED TO EQUALLY DIVIDE DISTANCE BETWEEN INTERIOR WALLS AS REQUIRED TO ACHIEVE DELINEATED NUMBER OF LOCKERS.  
ALL EXISTING LOCKERS ARE TO BE REMOVED.



## PARTIAL KEY PLAN AT HOLDING / PROCESSING AREA

SCALE: 3/4" = 1'-0"



MAXIMUM TRAVEL DISTANCE FROM LOCKER ROOM IS 13'-0"  
NOTE: BUILDING IS FULLY EQUIPPED WITH 8SPRINKLERS THROUGHOUT

## KEY PLAN

NOT TO SCALE

LOCKER ROOM AND HOLDING / PROCESSING AREA RENOVATIONS  
STAFFORD MUNICIPAL BUILDING  
STAFFORD TOWNSHIP, OCEAN COUNTY, NJ

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ARCHITECT 17149

FLOOR PLAN AND DETAILS

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SUBMISSION	BY	DATE
FINAL DESIGN	SM	03/10/23
FINAL DESIGN (REV)	ARC	05/16/23

