

RENOVATIONS TO SECOND FLOOR TOILET ROOMS AT NJM WEST TRENTON BUILDING A-NORTH

301 SULLIVAN WAY, WEST TRENTON, MERCER COUNTY, NEW JERSEY 08628
NJM PROJECT #WT.C. 2024.009

NEW JERSEY MANUFACTURERS INSURANCE COMPANY
301 SULLIVAN WAY, WEST TRENTON, MERCER COUNTY, NEW JERSEY 08628



KELTER & GILLIGO CONSULTING ENGINEERS
CONSULTING ENGINEERS | PRINCETON JUNCTION NEW JERSEY, 08550

APPLICABLE CODES:

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES:
CONSTRUCTION CODE (ALTERATIONS) - NEW JERSEY REHABILITATION SUBCODE 5:23-6
BUILDING SUBCODE - INTERNATIONAL BUILDING CODE 2021 - NEW JERSEY EDITION
BARRIER-FREE SUBCODE - N.J.A.C. 5:23-7 AND ICC-ANSI A117.1-2017
PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING SUBCODE 2021
MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE 2021
ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE 2020
ENERGY CONSERVATION SUBCODE - ASHRAE 90.1 2019

BUILDING ANALYSIS

(FROM INTERNATIONAL BUILDING CODE 2021 NEW JERSEY EDITION)
THE FLOOR PLAN AREA AND HEIGHT OF THE BUILDING IS NOT CHANGED UNDER THIS PROJECT. THEREFORE NO ANALYSIS OF THE EXISTING BUILDING HAS BEEN PROVIDED.

EGRESS ANALYSIS

(FROM NEW JERSEY REHABILITATION SUBCODE 5:23-6)
THE OCCUPANT LOAD IS NOT CHANGED UNDER THIS PROJECT. THEREFORE NO ANALYSIS OF EGRESS HAS BEEN PROVIDED.

FIRE EXTINGUISHER SCHEDULE

(FROM NATIONAL FIRE PROTECTION ASSOCIATION CODES)
THE FLOOR PLAN AREA OF THE BUILDING IS NOT CHANGED UNDER THIS PROJECT. THEREFORE NO ANALYSIS OF FIRE EXTINGUISHERS HAS BEEN PROVIDED.

TABULATION OF PLUMBING FIXTURES

(FROM 2021 NATIONAL STANDARD PLUMBING CODE)
USE GROUP 'B' (BUSINESS) - OFFICE
CONSTRUCTION CLASSIFICATION: IB
THE FUNCTIONAL CAPACITY OF THE BUILDING IS NOT CHANGED UNDER THIS PROJECT. NO PLUMBING FIXTURES ARE ADDED OR REMOVED. THEREFORE NO ANALYSIS OF PLUMBING FIXTURES HAS BEEN PROVIDED.

FIXTURES PROVIDED (MENS) - 2ND FLOOR
WATER CLOSETS (2 EXISTING, 2 REPLACED)
LAVATORIES (3 EXISTING, 3 REPLACED)
URINALS (2 EXISTING, 2 REPLACED)
FIXTURES PROVIDED (WOMENS) - 2ND FLOOR
WATER CLOSETS (7 EXISTING, 7 REPLACED)
LAVATORIES (4 EXISTING, 4 REPLACED)

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P201	Second Floor Part Plans Plumbing
P301	Waste and Vent Riser Diagrams
P302	Waste and Vent Riser Diagrams
P401	Notes, Schedules and Details Plumbing
P501	Specifications Plumbing

WILLIAM D. HOPKINS III, AIA, LEED AP
NJ-136076600 | PA-16612326A
GEORGE E. DUTHIE, JR., AIA, PP
NJ-174027900
JASON J. DUBOWITZ, AIA
NJ-1200197800 | PA-1946000
FVHD architects planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road, Trenton, New Jersey 08618
Pennsylvania: 140 Whitaker Ave, Moon Twp, Pennsylvania 19453
Date: 11/08/24
F V H D P C - C O M

Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
New Jersey Manufacturers Insurance Company
NJM Project # WT.C.2024.009

Project Location
301 Sullivan Way, West Trenton, NJ 08628

Project Number
5578
Project Date
11.08.2024
Checked By
GRD
Drawn By
SB
Scale
AS SHOWN

Drawing Name
Title Sheet, Drawing Index & Codes

Revisions		
No.	Date	Description

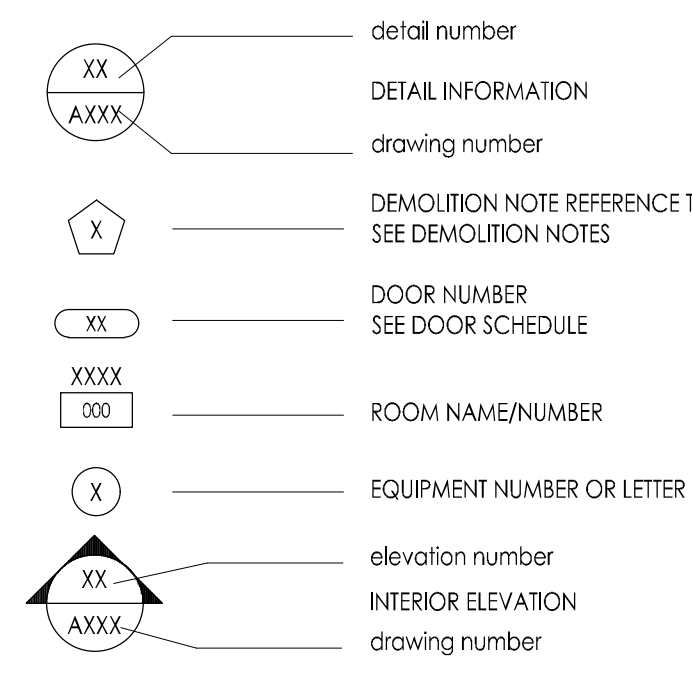
Drawing Number
G001

ABBREVIATIONS

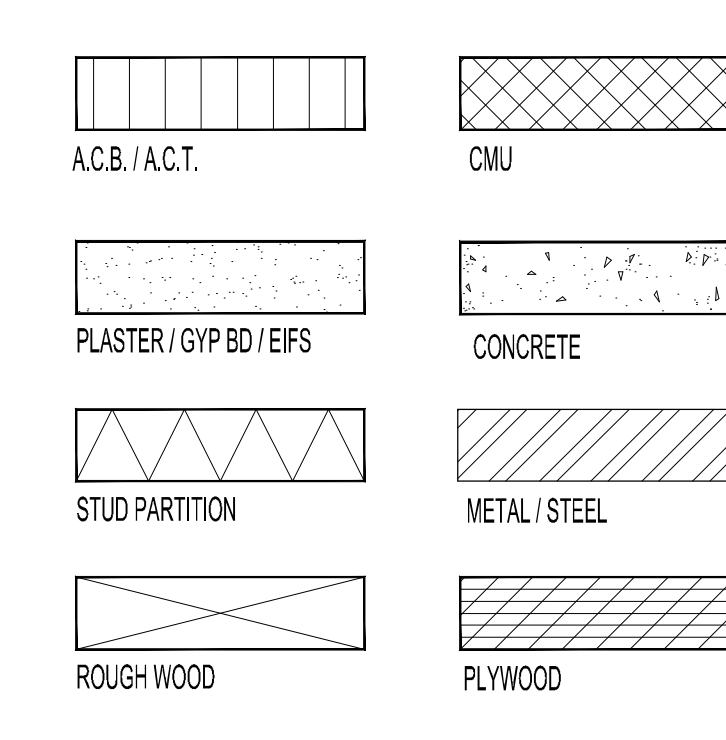
AACB	Acrylic acoustical ceiling board	FA	Fire alarm
ADJ	Adjacent	FD	Floor drain
AFF	Above finished floor	FF	Finish floor
ANC	Anchor, Anchorage	FFE	Finished floor elevation
AP	Access panel	FIN	Finish
ARCH	Architect	FIX	Fixture
		FLR	Floor
		FR	Frame
		FP	Fire proof
		FRT	Fire retardant
		FT	Feet
		GA	Gauge
		GB	Grab bar
		GC	General contractor
		GD	Grade, grading
		GP	Gypsum wall board painted
		GPDW	Gypsum drywall
		GT	Grout
		GV	Galvanized
		GWB	Gypsum Wall Board
		HDW	Hardware
		HM	Hollow metal
		HVC	Heating & ventilation contractor
		ID	Inside diameter
		JC	Janitor's closet
		JT	Joint
		KPL	Kickplate
		L	Length
		LAM	Laminate (d)
		LAV	Lavatory
		LF	Lineal foot/Linear feet
		LH	Left-hand
		LWC	Lightweight concrete
EA	Each		
EC	Electrical contractor		
EJ, EXP JT	Expansion joint		
EL	Elevation		
ELEC	Electrical		
ELEV	Elevator		
EP	Epoxy point		
EQ	Equal		
EQP	Equipment		
ETR	Existing To Remain		
ETR-R	Existing To Remain - Refinished		
EXG	Existing		
EXP	Exposed		

MAT	Material	SCH	Schedule
MAX	Maximum	SIM	Similar
MC	Mechanical contractor	SNT	Sealant
MECH	Mechanical	SPAC G	Spacing
MFR	Manufacturer	SPEC	Specification
MIN	Minimum	SQ. FT.	Square foot / feet
MISC	Miscellaneous	SST	Stainless steel
MT	Marble threshold	STD	Standard
MTD	Mounted	STR	Structural
		SUS	Suspended
		SYS	System
NIC	Not in contract	THK	Thick
NO	Number	THR	Threshold
NOM	Nominal	TLT, TOIL	Toilet
NTS	Not to scale	TPD	Toilet paper dispenser
		TPTN	Toilet partition
		TYP	Typical
OA	Overall	UL	Underwriter's laboratory
OC	On center	UNO	Unless noted otherwise
OD	Outside diameter	UR	Urinal
OPP	Opposite		
PC	Plumbing contractor	VERT	Vertical
PERI	Perimeter	VIF	Verify In Field
PL	Plate		
P LAM	Plastic laminate		
PNL	Panel		
PTD	Paper towel dispenser		
PTN	Partition		
PTR	Paper towel receptor		
PWD	Plywood	W/	With
		W/O	Without
		WC	Water closet
		WD	Wood
		WH	Wall hung
QTY	Quantity		
RAD	Radius		
REF	Reference (s)		
REFL	Reflected		
REM	Remove		
REQ	Required		
RM	Room		

SYMBOL LIST

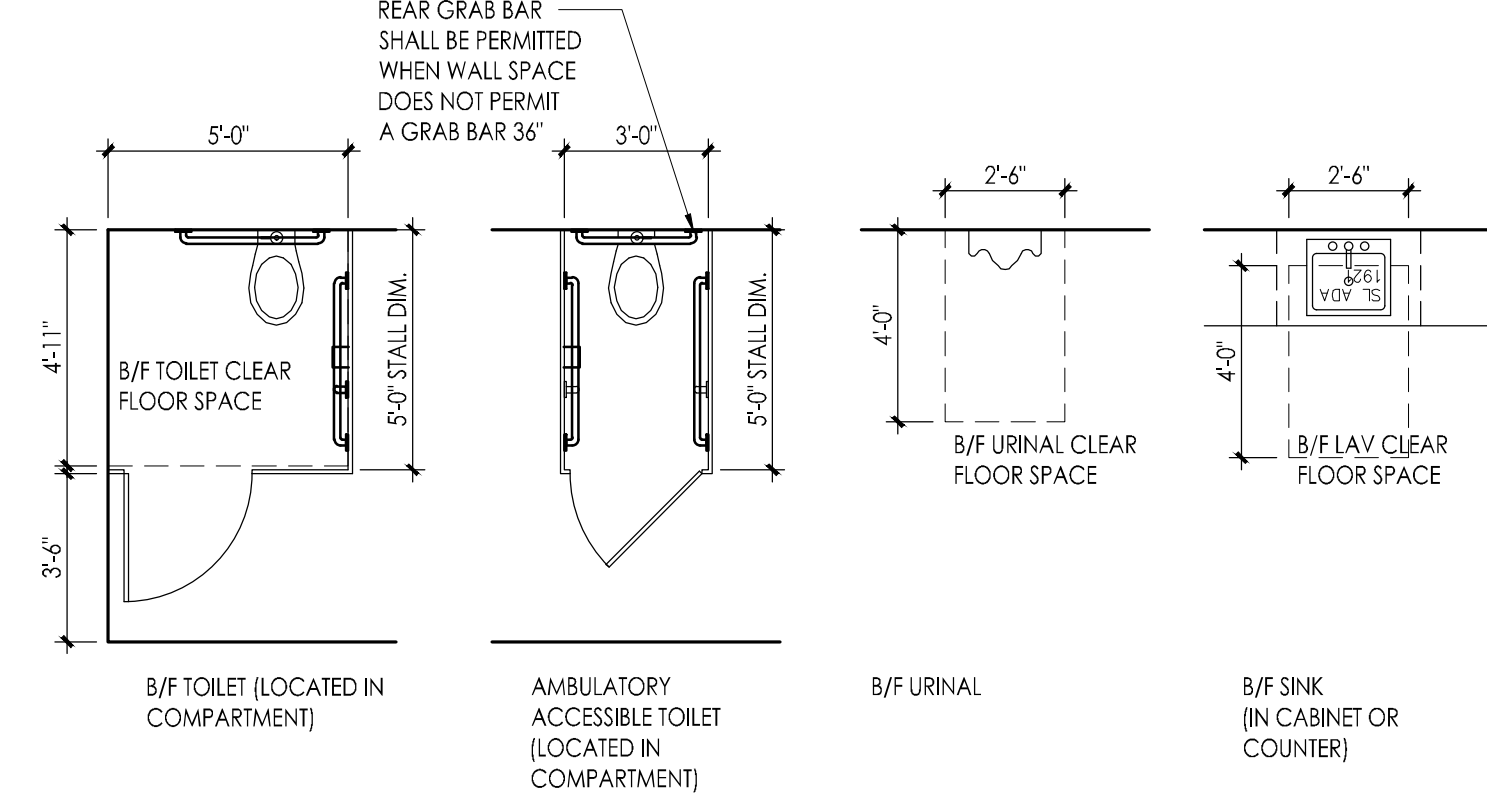


MATERIAL LEGEND



GENERAL NOTES

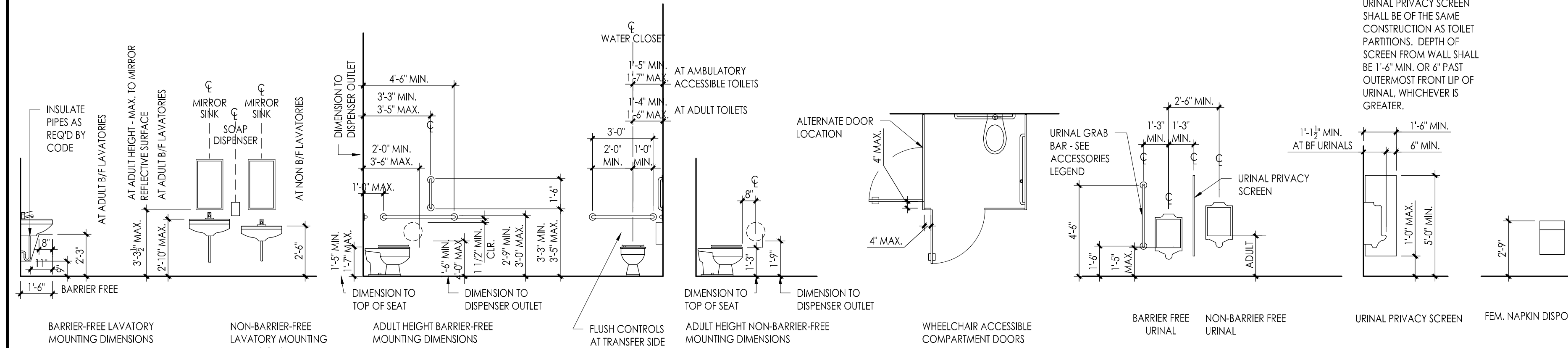
- ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE ARCHITECT IN WRITING (7) DAYS PRIOR TO BID OPENING. IF HE OR SHE DOES NOT, CONTRACTOR SHALL CORRECT SAME AT NO CHANGE IN CONTRACT PRICE.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET COMPLETION DATES AS OUTLINED IN THE SPECIFICATIONS. NO EXCEPTIONS WILL BE ALLOWED.
- DO NOT SCALE THE DRAWINGS.
- DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- MATERIALS LISTED ON THE FINISH SCHEDULE REFER TO THE MAJORITY OF WALLS, FLOOR AND CEILING OF ROOMS SCHEDULED. REFER TO PLANS, DETAILS, INTERIOR ELEVATION, CEILING PLANS, AND NOTES FOR THOSE MATERIALS NOT INDICATED ON THE SCHEDULE BUT ARE STILL REQUIRED IN THE ROOM.
- UNLESS OTHERWISE NOTED AND UNLESS FACTORY FINISHED, ALL EXPOSED SURFACES OF CMU, CONCRETE, PLASTER, WOOD, GYPSUM BOARD, HOLLOW METAL, HARDWOODS, MISC. METALS ETC., ARE TO RECEIVE PRIME AND FINISH COATS OF PAINT OR CLEAR FINISH AS SPECIFIED AND IN COLORS AS SELECTED BY ARCHITECT. EXCLUDED FROM THIS IS BRICK.
- ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS REQUIRED AND COORDINATE INSPECTION WITH LOCAL BUILDING INSPECTOR. ALL PERMIT AND APPLICATION FEES WILL BE PAID BY THE OWNER AND DELIVERED BY THE CONTRACTOR.
- DRAWINGS AND SPECIFICATIONS COMPLEMENT EACH OTHER. WORK NOT SHOWN ON DRAWING BUT CALLED FOR IN THE SPECIFICATIONS IS STILL REQUIRED, AND ALL WORK NOT CALLED FOR IN SPECIFICATIONS, BUT CALLED OUT OR SHOWN IN DRAWINGS IS STILL REQUIRED.
- THE OWNER WILL REMOVE AND RE-INSTALL ALL MOVEABLE EQUIPMENT. EACH CONTRACTOR IS RESPONSIBLE TO REMOVE, STORE AND RE-INSTALL EXISTING BUILT-IN EQUIPMENT REQUIRED TO PERFORM THEIR WORK UNLESS NOTED OTHERWISE.
- IN ACCORDANCE WITH NJAC 5:23-6.6(j), ALL MATERIALS AND METHODS USED SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN N.J.A.C. 5:23-6.8, MATERIALS AND METHODS.
- WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN ACCORDANCE WITH THE FIRE AND/OR SMOKE PROTECTED ASSEMBLY MARKING DETAIL. REFER TO 4/G002 FOR DETAIL.



- NOTES:
- DIMENSIONS SHALL BE NET CLEAR DISTANCES MEASURED TO WALL FINISHES (EG CERAMIC TILE), TO FACE OF TOILET PARTITIONS AND TO EDGES OF ADJACENT FIXTURES, CABINETS, ETC.
 - ALL DIMENSIONS ARE MINIMUM UNLESS NOTED OTHERWISE.
 - INSTALLATIONS SHALL COMPLY WITH ALL PROVISIONS OF ICC-ANSI A117.1 - 2017, INCLUDING BUT NOT LIMITED TO:
 - SECTION 604 (WATER CLOSETS AND TOILET COMPARTMENTS)
 - SECTION 605 (URINALS)
 - SECTION 606 (LAVATORIES AND SINKS)
 - SECTION 609 (GRAB BARS)
 - SECTION 610 (SEATS)
 - CLEAR FLOOR SPACES MAY OVERLAP WHERE SPECIFICALLY PERMITTED IN ICC-ANSI A117.1 - 2017 CHAPTER 6.

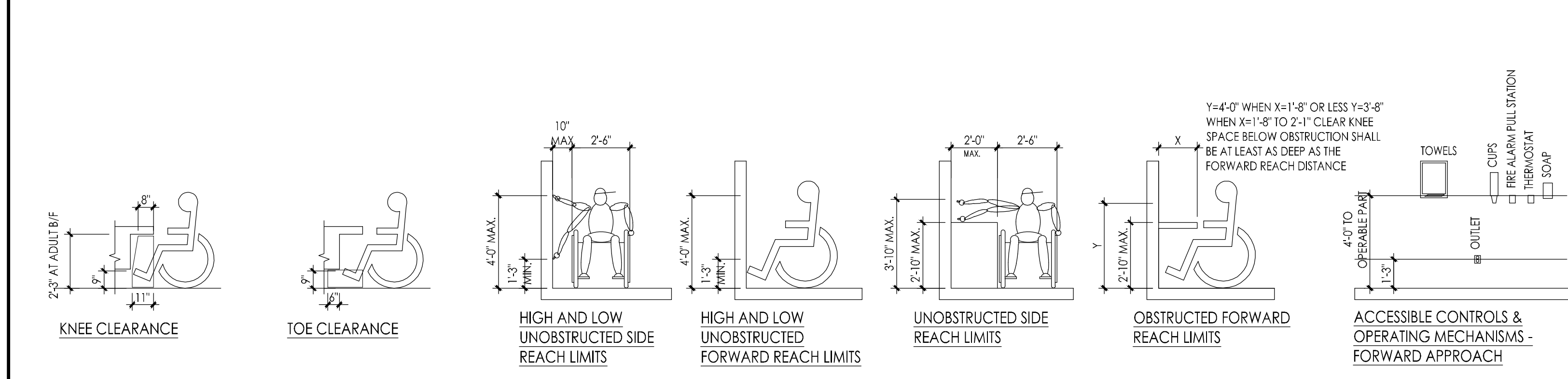
1 TYPICAL TOILET ROOM FIXTURE CLEAR FLOOR SPACE REQUIREMENTS

Scale: 1/4" = 1'-0"



2 TYPICAL TOILET ROOM FIXTURE/ACCESSORY MOUNTING HEIGHTS

Scale: 1/4" = 1'-0"

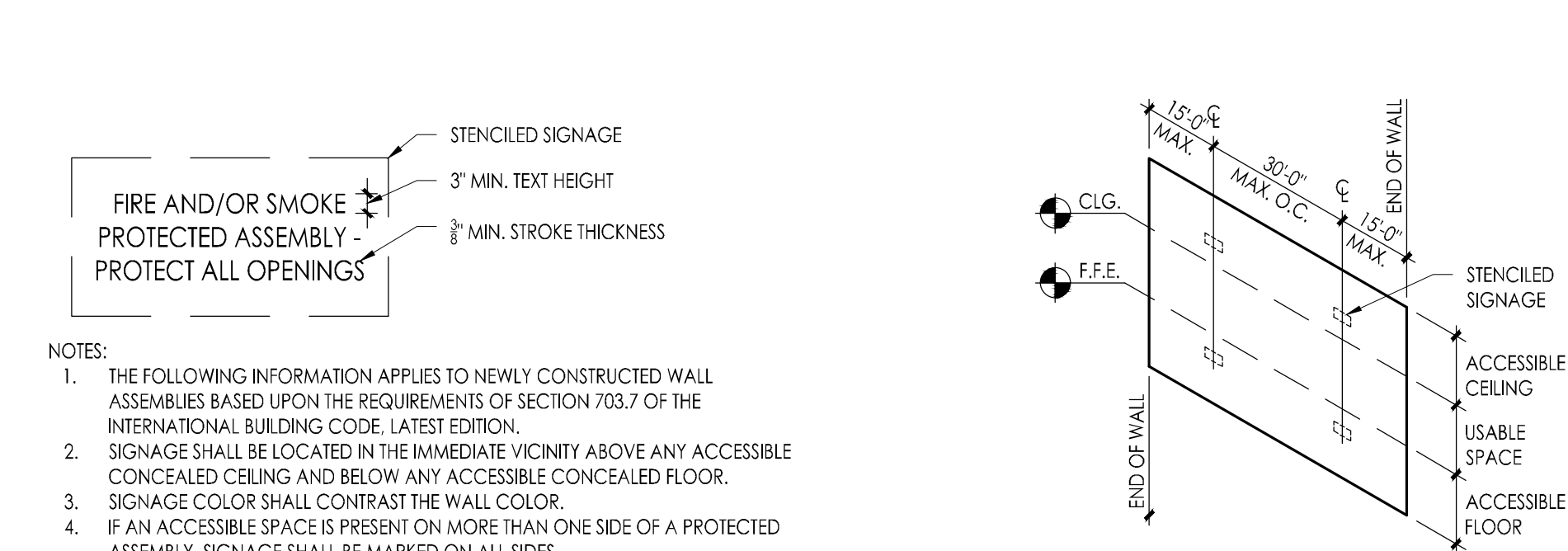


3 TYPICAL REACH & CLEARANCE APPROACHES

Scale: 1/4" = 1'-0"

4 FIRE PROTECTION STANDPIPE ENCLOSURE DETAIL - UL V497

Scale: 1-1/2" = 1'-0"

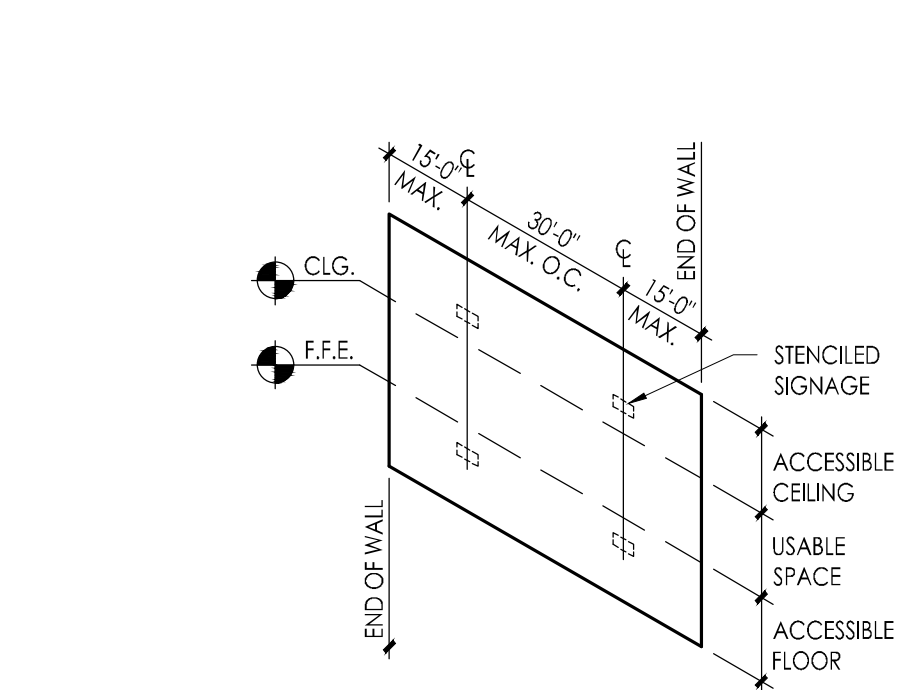


5 FIRE AND/OR SMOKE PROTECTED ASSEMBLY MARKING DETAIL

Scale: N.T.S.

UL DESIGN V497 DETAIL

Scale: N.T.S.



WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ-100792600 (TK - 1461) 2/2018
 GEORGE E. DUTHIE, JR., AIA, PP
 NJ-174027990
 JASON J. DUBOWITZ, AIA
 NJ-100797800 (TK - 1461) 2/2018
GFVH D architects
Fraytak Veisz Hopkins Duthie P C
 Corporate: 1515 Lower Ferry Road, Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave - Moon Twp - Pennsylvania 19153
 F V H D P C - C O M

Project Name
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Drawing Name
Abbreviation List, General Notes, Legends & Typical Project Details

No.	Date	Description

Drawing Number
G002

GENERAL NOTES ON DEMOLITION:

- A. ALL CONTRACTORS ARE ADVISED TO VISIT THE SITE AND VERIFY ALL AREAS AND CONDITIONS PRIOR TO SUBMITTING THEIR BIDS. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS IN WRITING AT LEAST SEVEN DAYS PRIOR TO THE RECEIPT OF BIDS. FAILURE TO SO NOTIFY THE ARCHITECT INDICATES THAT ANY ADDITIONAL COSTS ASSOCIATED WITH THE DISCREPANCIES AND / OR OMISSIONS ARE INCLUDED IN THE CONTRACTOR'S BID AND THAT NO CHANGE TO THE CONTRACT AMOUNT WILL BE MADE AFTER THE RECEIPT OF BIDS OR THE AWARD OF CONTRACTS.
- B. ALL PLUMBING, MECHANICAL OR ELECTRICAL DISCONNECTS SHALL BE MADE BY THE RESPECTIVE TRADE SUBCONTRACTOR. ALL EQUIPMENT, DEVICES, FIXTURES, ETC. SHALL BE REMOVED FROM THE SITE BY THE RESPECTIVE SUBCONTRACTOR. NOTE: THE EXISTING FIRE ALARM SYSTEM SHALL NOT BE DIMINISHED NOR SHALL EXISTING FIRE ALARM DEVICES BE REMOVED UNTIL NEW DEVICES ARE READY FOR SWITCHOVER.
- C. UNLESS NOTED OTHERWISE ALL DEMOLITION MATERIAL SHALL BE REMOVED OFF SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. THERE ARE SOME SPECIFIC ITEMS DESIGNATED BY THE ARCHITECT FOR SALVAGE. THESE ITEMS ARE INTENDED FOR REUSE IN THE NEW CONSTRUCTION. THE CONTRACTOR MUST TAKE CARE IN THE REMOVAL AND STORAGE OF THESE ITEMS UNTIL THEY ARE NEEDED IN THE NEW CONSTRUCTION.
- E. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT PORTIONS OF THE EXISTING CONSTRUCTION WHICH ARE ADJACENT TO AREAS TO BE DEMOLISHED. MAKE ALL CUTS AS NEATLY AS POSSIBLE. REFER TO FLOOR PLAN DRAWINGS FOR FINISHING OF THESE AREAS.
- F. IF NOT OTHERWISE NOTED OR DETAILED, ALL SURFACES LEFT ROUGH OR UNFINISHED BY DEMOLITION AND WHICH ARE EXPOSED TO VIEW, SHALL BE PATCHED TO MATCH ADJACENT SURFACES AND FINISHED TO PROVIDE A UNIFORM APPEARANCE WITH REGARD TO SIZE, SHAPE, COLOR, TEXTURE AND MATERIAL.
- G. THE CONTRACTOR SHALL PROVIDE A PHYSICAL BARRIER TO CONTAIN DUST AND DIRT AROUND THE DEMOLITION AREA AND SHALL MAKE EVERY EFFORT TO KEEP THE DEMOLITION SITE AND SURROUNDING AREAS AS CLEAN AS POSSIBLE. ALL TEMPORARY PARTITIONS SHALL BE 1 HOUR RATED CONSTRUCTION AND INCLUDE A DOOR.
- H. NO DEMOLITION SHALL BEGIN UNTIL PROPER PROTECTION IS IN PLACE AND APPROVED BY ARCHITECT & OWNER TO ENSURE THE SAFETY OF THE PUBLIC. THE BUILDING OCCUPANTS, CONSTRUCTION WORKERS AND TO CONTAIN DUST AND DIRT WITHIN THE AREA OF DEMOLITION.
- I. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS REGARDING THE REMOVAL AND DISPOSAL OF ALL MATERIALS & EQUIPMENT.
- J. THE CONTRACTORS SHALL TAKE INTO ACCOUNT THEIR METHODS OF CONSTRUCTION FOR THE NEW WORK AND INCLUDE IN THEIR BID THE COST OF ADDITIONAL DEMOLITION WORK NECESSARY TO FACILITATE THE CONSTRUCTION. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE PARTIAL DEMOLITION OF WALLS AT THE POINTS WHERE NEW STEEL CONNECTS TO EXISTING BEAMS OR COLUMNS, THE AREA AROUND JOINTS BETWEEN NEW AND EXISTING CONSTRUCTION IN WALLS, FLOORS AND CEILINGS, ETC. MUCH OF THIS WORK IS INDICATED IN SECTIONS AND DETAILS RELATING TO THE NEW CONSTRUCTION.
- K. THE DEMOLITION WORK SHOWN ON THIS PLAN IS INTENDED TO BE A GENERAL OVERVIEW OF MAJOR DEMOLITION WORK REQUIRED. IT IS NOT A COMPLETE AND EXCLUSIVE REPRESENTATION OF ALL DEMOLITION WORK NEEDED FOR EXECUTION OF THE PROJECT. WHEN PREPARING THEIR BIDS, CONTRACTORS MUST REFER TO THE FULL SET OF CONSTRUCTION DOCUMENTS FOR VARIOUS MISCELLANEOUS ITEMS WHICH MUST BE REMOVED AND/OR RELOCATED AS PART OF THE WORK.
- L. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN CUTTING AND PATCHING - SEE SPECIFICATION.
- M. IN ROOMS WHERE EXISTING FLOOR FINISH AND BASE ARE INDICATED TO BE REMOVED, IF ASBESTOS TILE IS ENCOUNTERED, STOP REMOVAL AND NOTIFY OWNER IMMEDIATELY. ASBESTOS TILE SHALL BE REMOVED DOWN TO THE EXISTING CONCRETE SLAB AND THE SURFACE PREPARED FOR NEW FINISH BY OTHERS PRIOR TO CONTINUING WITH RENOVATION WORK. AFTER ASBESTOS ABATEMENT, THE GENERAL CONTRACTOR SHALL CLEAN SLAB TO REMOVE ADHESIVES AND INFILL WITH SELF-DRYING FINISHING UNDERLAYMENT (COMPATIBLE WITH NEW FLOOR FINISHES) OVER ENTIRE SURFACE OF EXISTING FLOOR TO MAKE FLOOR LEVEL AND FLUSH. APPLY NEW FINISH AND BASE - SEE ROOM FINISH SCHEDULE.
- N. IF DURING THE DEMOLITION, RENOVATION AND ALTERATION WORK IN THE EXISTING BUILDING, STRUCTURAL ELEMENTS ARE UNCOVERED AND ARE FOUND TO BE UNSOUND OR OTHERWISE STRUCTURALLY DEFICIENT, THE GENERAL CONTRACTOR SHALL IMMEDIATELY ADVISE THE ARCHITECT AND THE STRUCTURAL ENGINEER OF RECORD OF THE CONDITION SO THAT APPROPRIATE MEASURES TO REINFORCE, SUPPORT OR REPLACE THE UNSOUND ELEMENTS CAN BE DESIGNED AND IMPLEMENTED.
- O. CONTRACTOR SHALL MAINTAIN ALL EXISTING FIRE-RATED CONSTRUCTION ASSEMBLIES, INCLUDING PROTECTED OPENINGS (DOORS, ETC.) DURING DEMOLITION AND ALTERATION WORK IN ORDER TO MAINTAIN EXISTING LIFE SAFETY AND EGRESS. CONTRACTOR IS RESPONSIBLE FOR ALL SEQUENCING AND SHALL NOT REMOVE ANY EXISTING FIRE-RATED ASSEMBLIES UNTIL NEW WORK IS READY FOR INSTALLATION. CONTRACTOR SHALL NOT REMOVE ANY EXISTING FIRE-RATED ASSEMBLIES BEYOND THAT WHICH CAN BE REPLACED IN A SINGLE DAY.

EXISTING FIRE ALARM SYSTEM NOTE

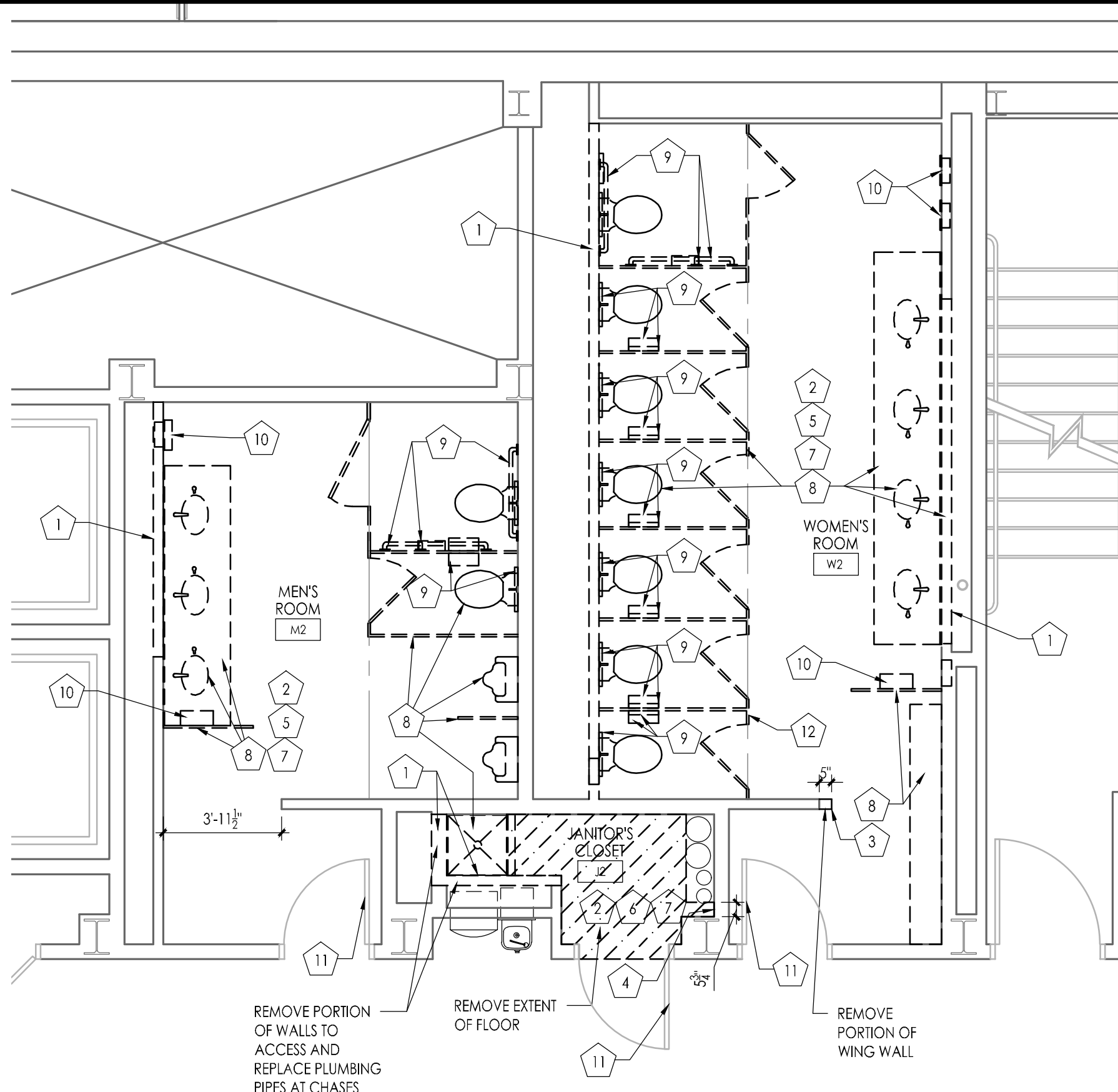
IF ANY PORTION OF THE EXISTING FIRE ALARM SYSTEM MUST BE TAKEN OUT OF SERVICE FOR ANY LENGTH OF TIME, THE LOCAL FIRE MARSHAL MUST BE CONTACTED AND MUST APPROVE SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL CONCERNING THE EXISTING FIRE ALARM SYSTEM AND SPRINKLER SYSTEM SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED FOR SYSTEM INTERRUPTIONS DURING CONSTRUCTION.

NOTE THAT TEMPORARILY COVERING EXISTING DETECTION DEVICES TO PREVENT ACCIDENTAL ALARM ACTIVATIONS DUE TO DUST AND DIRT CONSTITUTES A PARTIAL SHUTDOWN OF THE EXISTING FIRE ALARM SYSTEM.

SPRAY FIRE PROOFING DEMOLITION NOTE

THE EXISTING BUILDING PRIMARY STRUCTURAL FRAME, SECONDARY STRUCTURAL FRAME, AND UNDERSIDE OF METAL DECK (I.E. SECOND FLOOR AND ROOF) ARE PROTECTED BY SPRAY APPLIED FIRE PROOFING. ALL CONTRACTORS ARE TO TAKE THE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE EXISTING FIRE PROOFING. WORK PERFORMED THAT REQUIRES CONNECTIONS TO THE EXISTING BUILDING COMPONENTS INDICATED ABOVE AND CAUSES ANY DAMAGE TO THE EXISTING FIRE PROOFING SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE BUILDING OWNER. THE REPAIRS SHALL MATCH THE EXISTING FIRE RATING ESTABLISHED.



1 SECOND FLOOR TOILET ROOM DEMOLITION PLANS
Scale: 1/4" = 1'-0"

DEMOLITION / RENOVATION NOTES:

SEE GENERAL NOTES ON DEMOLITION ON THIS DRAWING.

GENERAL DEMOLITION OWNER'S NOTE: THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND FIXTURES (CABINETS, SHELVING, PLUMBING FIXTURES, TOILET ACCESSORIES ETC.) REMOVED UNDER CONTRACT. IF THE OWNER DOES NOT EXERCISE THIS RIGHT FOR AN INDIVIDUAL PIECE OF EQUIPMENT, THE CONTRACTOR SHALL REMOVE SAID EQUIPMENT FROM THE SITE.

WALLS

- 1. BRACE AND SHORE UP EXISTING ADJACENT WALL CONSTRUCTION TO REMAIN. DEMOLISH AND REMOVE INDICATED EXISTING WALLS IN THEIR ENTIRETY FULL HEIGHT. **NOTE: IT WILL BE UP TO GC'S DISCRETION ON WHETHER THE ENTIRE LENGTH OF THE WALL WILL NEED TO BE DEMOLISHED IN ITS ENTIRETY TO FACILITATE THE WORK. ANY EXISTING STRUCTURAL COLUMNS ENCOUNTERED SHALL REMAIN.**
- 2. WITH EXISTING WALLS TO REMAIN, REMOVE WALL TILE IN ITS ENTIRETY DOWN TO ITS SUBSTRATE. INSPECT EXISTING BLOCK FOR CRACKS AND JOINTS AND REPAIR ACCORDINGLY. REMOVE ANY LOOSE MORTAR OR GROUT AND SAND WALLS TO A LEVELED FINISH. THEN VACUUM ALL DUST AND PARTICLES PRIOR TO CLEANING THE WALLS AND ALLOWING TO DRY COMPLETELY. PRIME AND PREP WALLS FOR NEW THINSET, GROUT AND WALL FINISH. SEE ROOM FINISH SCHEDULE.
- 3. SAWCUT AND DEMOLISH EXISTING WALL CONSTRUCTION TO WIDTH INDICATED ON DEMOLITION PLAN AND FROM FLOOR TO ABOVE CEILING - FULL HEIGHT. **NOTE: ANY EXISTING STRUCTURAL COLUMNS ENCOUNTERED SHALL REMAIN UNLESS NOTED OTHERWISE.** PATCH AND REPAIR ALL DAMAGE CAUSED BY DEMOLITION AND PREPARE END OF WALL TO RECEIVE NEW TILE FINISH.
- 4. SAWCUT AND REMOVE EXISTING WALL TILE TO THE EXTENT SHOWN DOWN TO ITS SUBSTRATE. REMOVE ANY LOOSE MORTAR OR GROUT AND SAND WALLS TO A LEVELED FINISH. THEN VACUUM ALL DUST AND PARTICLES PRIOR TO CLEANING THE WALLS AND ALLOWING TO DRY COMPLETELY. PRIME AND PREP WALLS FOR NEW THINSET, GROUT AND WALL FINISH. SEE ROOM FINISH SCHEDULE.

FLOORS

- 5. REMOVE EXISTING FLOOR FINISH DOWN TO CONCRETE SLAB, INCLUDING ALL ADHESIVES. CLEAN, PREPARE & LEVEL EXISTING FLOOR SLAB WITH SELF-DRYING UNDERLAYMENT (COMPATIBLE WITH NEW FLOOR FINISHES) OVER ENTIRE SURFACE OF EXISTING FLOOR TO MEET SLOPE OF THE NEW FLOOR DRAIN. REFERENCE PLUMBING DRAWINGS FOR LOCATION. PREP EXISTING FLOOR FOR NEW FINISH AS NOTED BY MANUFACTURER AND SEE ROOM FINISH SCHEDULE AND SPECIFICATION SECTION FOR ADDITIONAL NOTES.
- 6. DEMOLISH EXISTING FLOOR FINISH DOWN TO EXISTING CONCRETE SLAB, TO EXTENT INDICATED BY HATCH ON DEMOLITION PLAN. CLEAN, PREPARE & LEVEL EXISTING FLOOR SLAB WITH SELF-DRYING UNDERLAYMENT (COMPATIBLE WITH NEW FLOOR FINISHES) OVER ENTIRE SURFACE OF EXISTING FLOOR. PATCH AND REPAIR ALL DAMAGE CAUSED BY DEMOLITION AND MATCH EXISTING ADJACENT FINISH.

CEILINGS

- 7. REMOVE EXISTING CEILING CONSTRUCTION IN ITS ENTIRETY. PATCH, PLUG AND FILL ALL OPENINGS IN ADJACENT WALL, ETC. TO REPAIR ANY DAMAGE CAUSED BY REMOVAL. MATCH EXISTING ADJACENT FINISH. **REFERENCE ALL PLUMBING / HVAC / ELECTRICAL WORK, INCLUDING DEMOLITION WORK, ON RESPECTIVE DRAWINGS.**

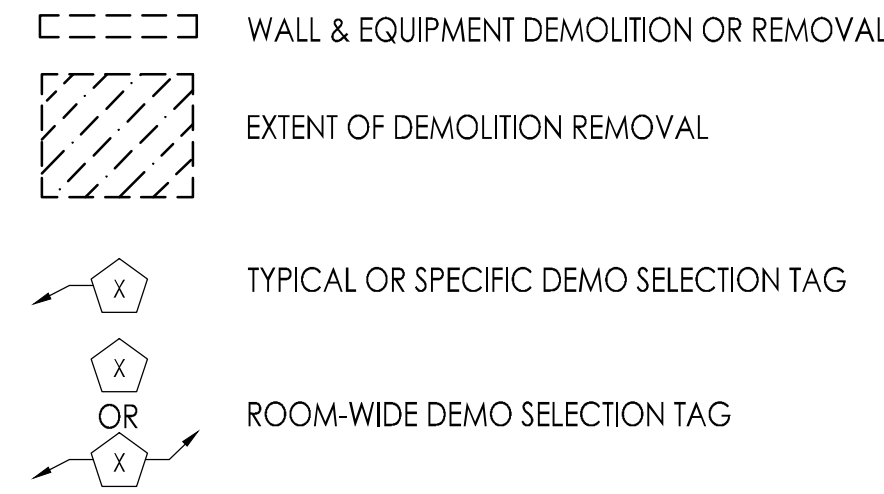
EQUIPMENT

- 8. REMOVE EXISTING COUNTERTOP(S) AND MILLWORK. TOILET EQUIPMENT, TOILET PARTITIONS, MOPSINK, MIRRORS, SHELVING, AND ANY ASSOCIATED APPURTENANCES IN THEIR ENTIRETY. SEE GENERAL DEMOLITION OWNERS NOTE PERTAINING TO OWNER'S RIGHT TO REFUSAL.
- 9. REMOVE EXISTING TYPICAL TOILET ACCESSORIES (GRAB BAR, PAPER TOWEL DISPENSERS, ETC.) AND ANY ASSOCIATED APPURTENANCES, U.N.O. FROM WALLS TO REMAIN. SEE GENERAL DEMOLITION OWNER'S NOTE PERTAINING TO OWNER'S RIGHT TO REFUSAL.
- 10. REMOVE AND STORE EXISTING EQUIPMENT AND ANY ASSOCIATED APPURTENANCES WITH CARE. ITEMS ARE TO BE SALVAGED AND REINSTALLED AT THE DISCRETION OF THE OWNER. IF NOTED ITEMS ARE DAMAGED OR CANNOT BE REMOVED WITHOUT BEING DAMAGED DURING THE DEMOLITION PROCESS, NOTIFY THE OWNER AND ARCHITECT FOR DIFFERENT COURSE OF ACTION IMMEDIATELY.

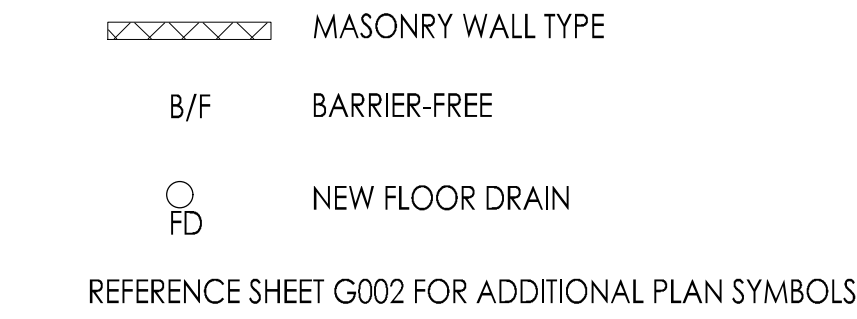
MISCELLANEOUS

- 11. REMOVE ALL EXISTING HARDWARE AND ANY ASSOCIATED APPURTENANCES. PATCH AND REPAIR ANY EXISTING HOLES OR DAMAGE AFTER THE REMOVAL OF THE EXISTING HARDWARE. CLEAN, PRIME AND PAINT THE EXISTING HOLLOW METAL DOOR AND FRAME TO MATCH EXISTING COLOR. INSTALL NEW DOOR HARDWARE. SEE DOOR SCHEDULE AND SPECIFICATIONS FOR HARDWARE SET.
- 12. DETACH CEILING ANCHORED TOILET PARTITIONS FROM STRUCTURAL STEEL BEAM ABOVE CEILING. STEEL BEAM TO REMAIN.

DEMOLITION PLAN SYMBOL LEGEND

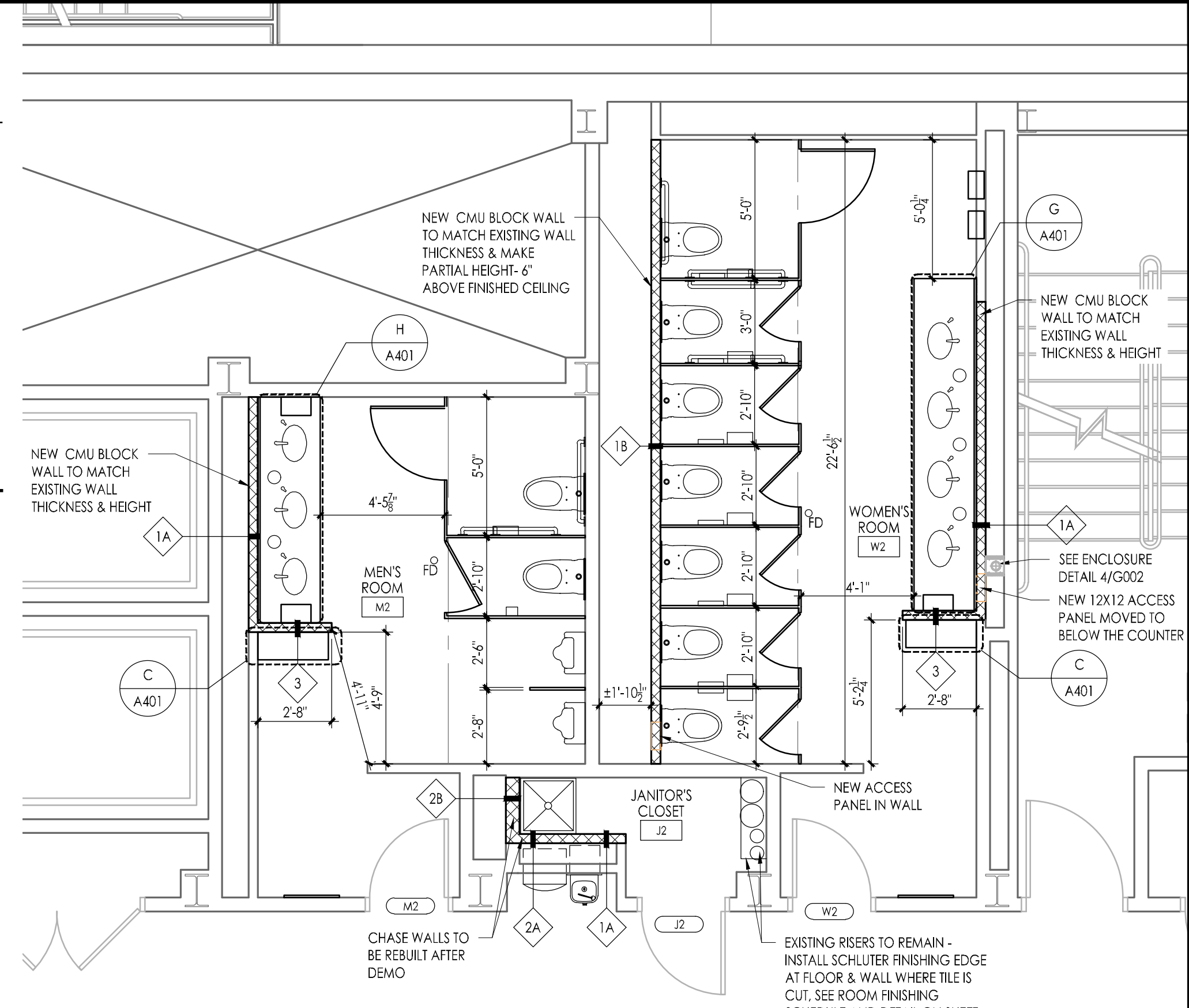


NEW CONSTRUCTION SYMBOL LEGEND

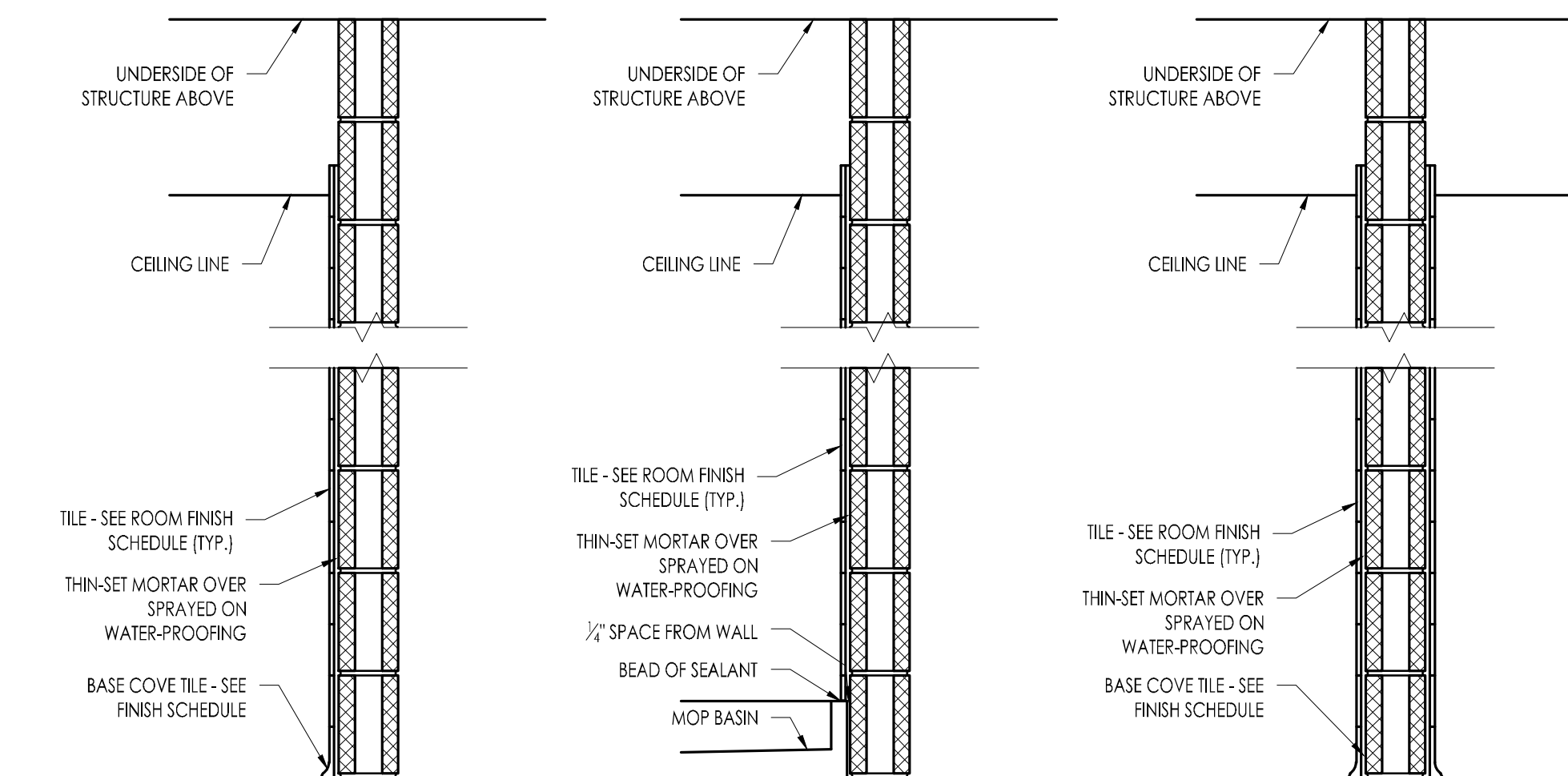


TYPICAL CONSTRUCTION NOTES:

- 1. EXISTING RISERS IN JANITOR'S CLOSET (J2) ARE TO REMAIN AS IS. AFTER THE REMOVAL OF ANY MATERIAL, THE GC AND RESPECTIVE TRADE ARE TO REPAIR ANY DAMAGES CAUSED BY THE DEMOLITION. PATCH, PLUG, AND INFILL ANY OPENINGS IN THE EXISTING WALLS TO REMAIN. SMOOTH SURFACES AND PREP FOR NEW FINISHES.
- 2. ANY THRU HOLES ROUND IN A FIRE-RATED WALL ARE TO BE FILLED WITH A FIRE-RATED PENETRATION MATERIAL OR SEALANT. REFERENCE FIRE-RATED PENETRATION CHART ON SHEET A102.
- 3. DIMENSIONS SHOWN ARE FROM FINISHED WALL TILE TO FINISHED WALL TILE. IF ANY DISCREPANCIES ARE FOUND PRIOR TO THE INSTALLATION OF THE NEW FINISHED WALL, INFORM THE ARCHITECT IMMEDIATELY.



2 SECOND FLOOR TOILET ROOM FLOOR PLANS
Scale: 1/4" = 1'-0"



- 1A 4" CMU BLOCK CHASE WALL PARTITION - FULL HEIGHT
- 1B 4" CMU BLOCK CHASE WALL PARTITION - STOP WALL A COURSE ABOVE THE CEILING PLANE. PROVIDE 20 GA. METAL STUD KICK BACKS AT 32 O.C.
- 2A 4" CMU BLOCK CHASE WALL PARTITION - FULL HEIGHT
- 2B 6" CMU BLOCK CHASE WALL PARTITION - FULL HEIGHT
- 3 4" CMU WALL PARTITION

WALL PARTITION TYPES
SCALE: 1"=1'-0"

WILLIAM D. HOPKINS III, AIA, LEED AP
No. 1401760001 PA - 1401760001
GEORGE E. DUTHE JR., AIA, FP
No. 1414029700
JASON J. DIBOWITZ, AIA
No. 1401760001 PA - 1401760001
Date: 11/08/2024
Architect: F V H D P C - C O M

GFVHD architects
Fraytak Veisz Hopkins Duthe P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Permyshkama: 140 Whitaker Ave - West Clare - Pennsylvania 19453

Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
New Jersey Manufacturers Insurance Company NJM Project # WT.C.2024.009

Project Location
301 Sullivan Way, West Trenton, NJ 08628

Project Number: **5578**
Project Date: **11.08.2024**
Checked By: **GRD**
Drawn By: **SB**
Scale: **AS SHOWN**

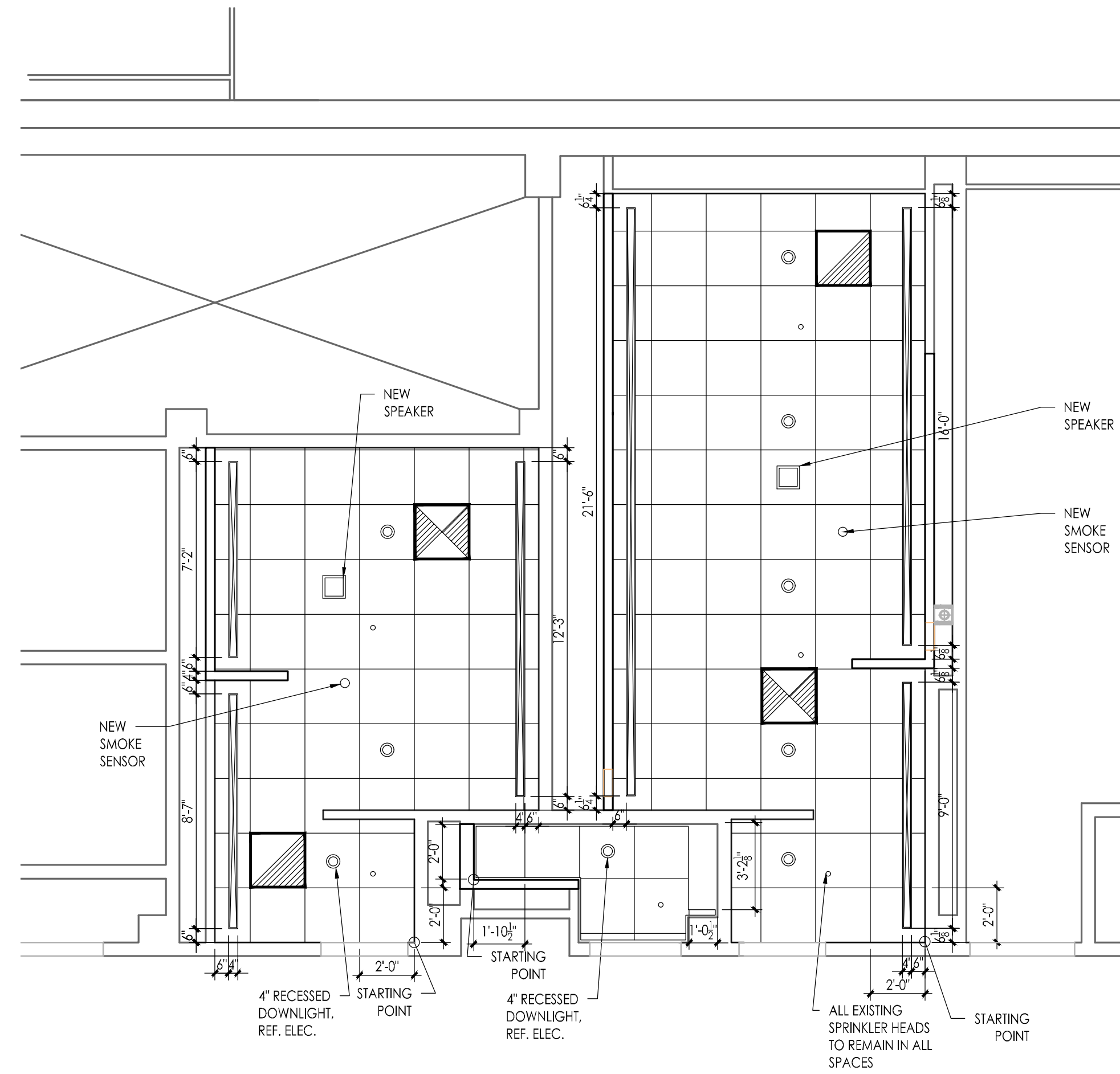
Drawing Name
Second Floor Demolition Notes, Plans, Legends & Wall Partition Types

Revisions		
No.	Date	Description

Drawing Number
A101

FIRE-RATED PENETRATION CHART		
CONCRETE OR BLOCK WALLS		
TYPE OF PENETRATE	FIRE RATING	U.L. CLASSIFIED SYSTEM
CIRCULAR BLANK OPENINGS	1	CAJ 0055, CAJ 0070
	2	CAJ 0055, CAJ 0070
	3	CAJ 0055
SINGLE METAL PIPES OR CONDUIT	1	CAJ 1226, WJ 1021
	2	CAJ 1226, WJ 1021
	3	CAJ 1226, WJ 1041, WJ 1042
SINGLE NON-METALLIC PIPE OR CONDUIT (I.E. PVC, CPVC, ABS, FRP, ENJ)	1	CAJ 2109, CAJ 2098, CAJ 2167
	2	CAJ 2109, CAJ 2098, CAJ 2167
	3	CAJ 2109, CAJ 2098
SINGLE OR BUNDLED CABLES	1	WJ 3036, CAJ 3095, CAJ 3096
	2	WJ 3036, CAJ 3095, CAJ 3096
	3	CAJ 3095, CAJ 3096
CABLE TRAY	1	WJ 4016, CAJ 4034, CAJ 4035
	2	WJ 4016, CAJ 4034, CAJ 4035
	3	CAJ 4034, CAJ 4035
SINGLE INSULATED PIPES	1	CAJ 5090, CAJ 5091, CAJ 5061
	2	CAJ 5090, CAJ 5091, CAJ 5061
	3	CAJ 5090, CAJ 5061
ELECTRICAL BUSWAY	1	CAJ 6006, CAJ 6017
	2	CAJ 6006, CAJ 6017
	3	CAJ 6006, CAJ 6017
NON-INSULATED MECHANICAL DUCTWORK WITHOUT DAMPERS	1	CAJ 7046, CAJ 7051, WJ 7021, WJ 7022
	2	CAJ 7046, CAJ 7051, WJ 7021, WJ 7022
	3	CAJ 7046, CAJ 7051
MIXED PENETRANTS	1	CAJ 8041, CAJ 8056, WJ 8007
	2	CAJ 8041, CAJ 8056, WJ 8007
	3	CAJ 8041, CAJ 8056, WJ 8007

U.L. ASSEMBLIES AT CONCRETE OR BLOCK WALL PENETRATIONS
N.T.S.



3 SECOND FLOOR TOILET ROOMS
REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- AACB - 2'x2' ACRYLIC ACOUSTICAL CEILING BOARD - SEE FINISH SCHEDULE FOR LOCATION
- SUPPLY / RETURN / EXHAUST DIFFUSER (SEE HVAC DRAWINGS)
- LIGHTS (SEE ELECTRICAL DRAWINGS)
- SPRINKLER HEADS TO REMAIN

TYPICAL RCP NOTES:

1. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR TYPE, SIZE AND ADDITIONAL INFORMATION OF OTHER ELEMENTS LOCATED IN SPACE.
2. ALL DIFFUSERS AND LIGHTS TO BE CENTERED IN THE ACB CEILING UNLESS NOTED OTHERWISE.
3. ALL EXISTING SPRINKLER HEADS TO REMAIN AS IS.
4. GENERAL HVAC, PLUMBING AND ELECTRICAL CONTRACTORS TO COORDINATE LOCATION OF SPRINKLER HEADS DIFFUSERS AND LIGHTS.
5. SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS THAT ARE TO MATCH EXISTING.
6. A.F.F. = ABOVE FINISH FLOOR (MAIN DATUM ELEVATION)

WILLIAM D. HOPKINS III, AIA, LEED AP
NJ-140170800 PA-14017250A
GEORGE R. DUTHE JR., AIA, PP
NJ-140129900 PA-140129900
JASON J. DUBOWITZ, AIA
NJ-140197800 PA-140197800
11/08/24
Date
Architect
F V H D P C - C O M
1515 Lower Ferry Road - Trenton - New Jersey 08618
Corporate: 140 Whitaker Ave - West Clare - Pennsylvania 19423

FVH D architects
planners
Fraytak Veisz Hopkins Duthe P C

Project Name
Renovations to
Second Floor
Toilet Rooms at
NJM West Trenton
Building A - North

Project Owner Name
New Jersey
Manufacturers
Insurance Company
NJM Project #
WT.C.2024.009

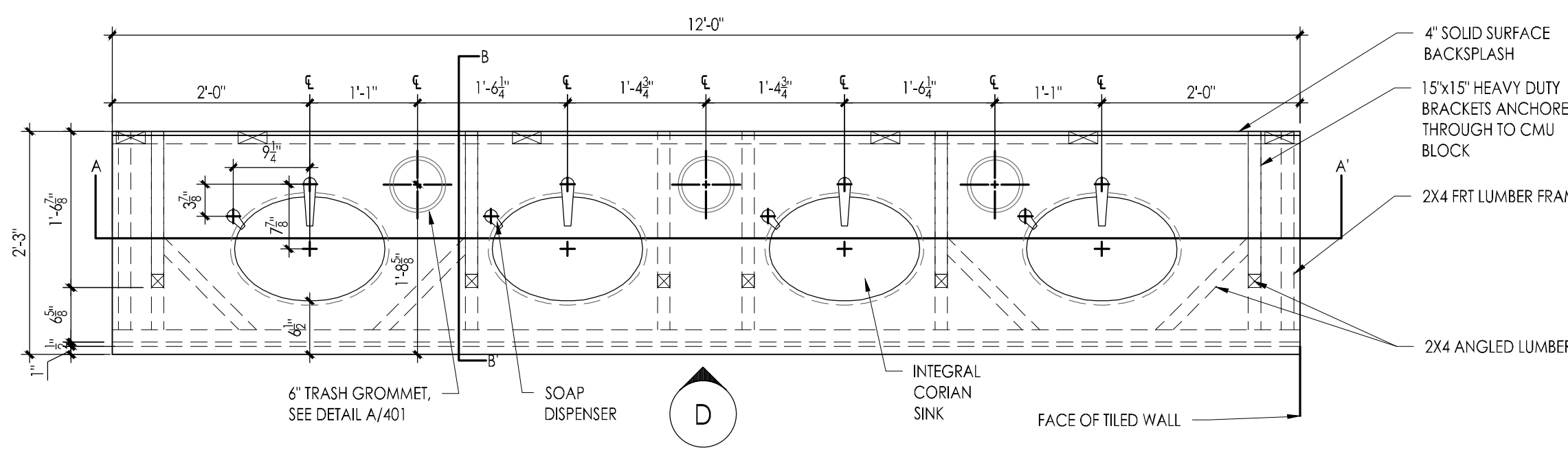
Project Location
301 Sullivan Way,
West Trenton, NJ
08628

Project Number
5578
Project Date
11.08.2024
Checked By
GRD
Drawn By
SB
Scale
AS SHOWN

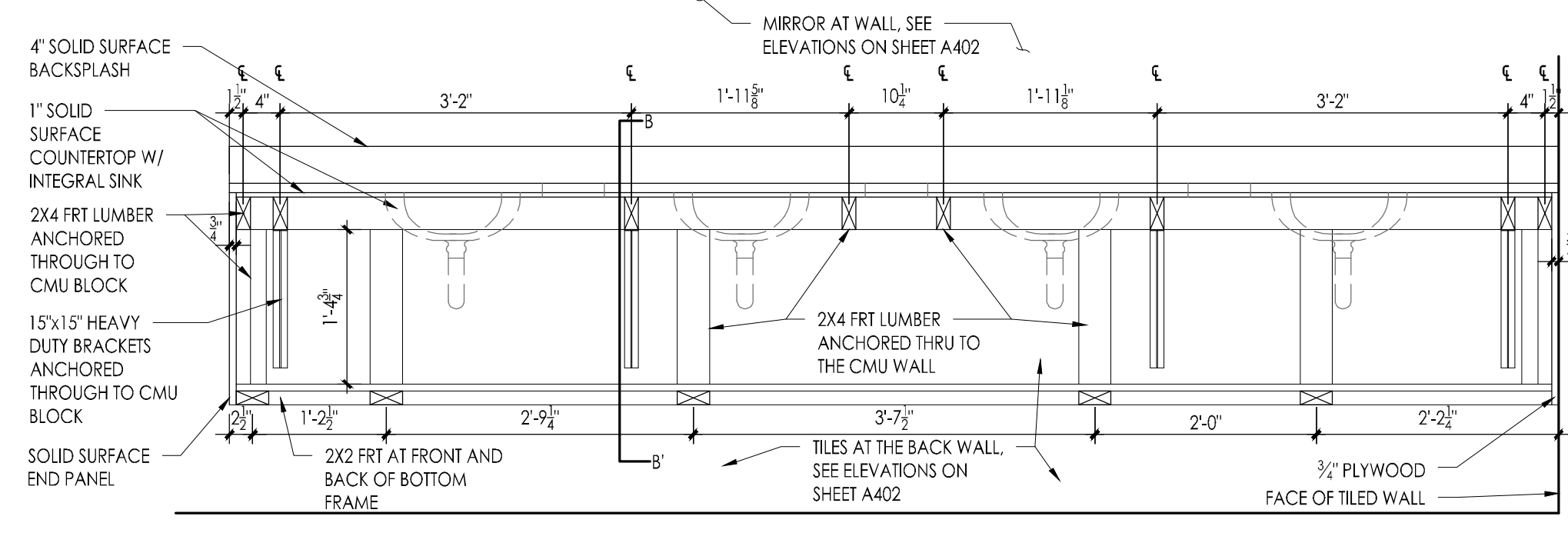
Drawing Name
Second Floor RCP
Plans, Notes,
& Legend

Revisions		
No.	Date	Description

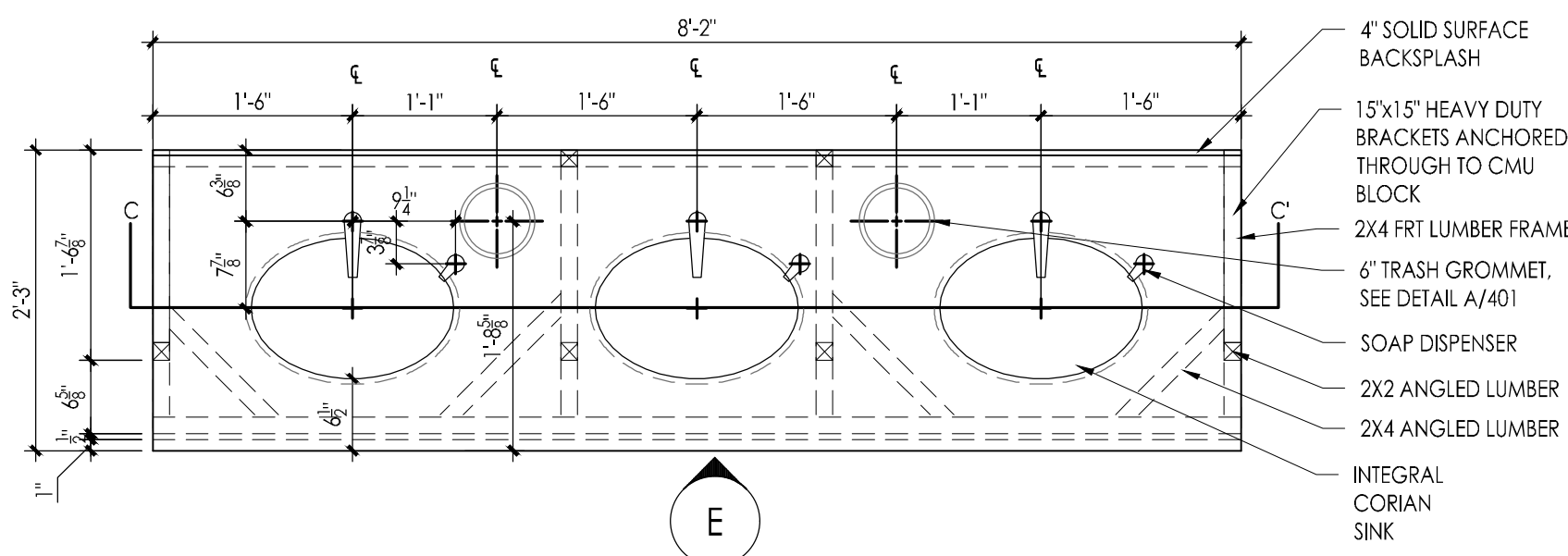
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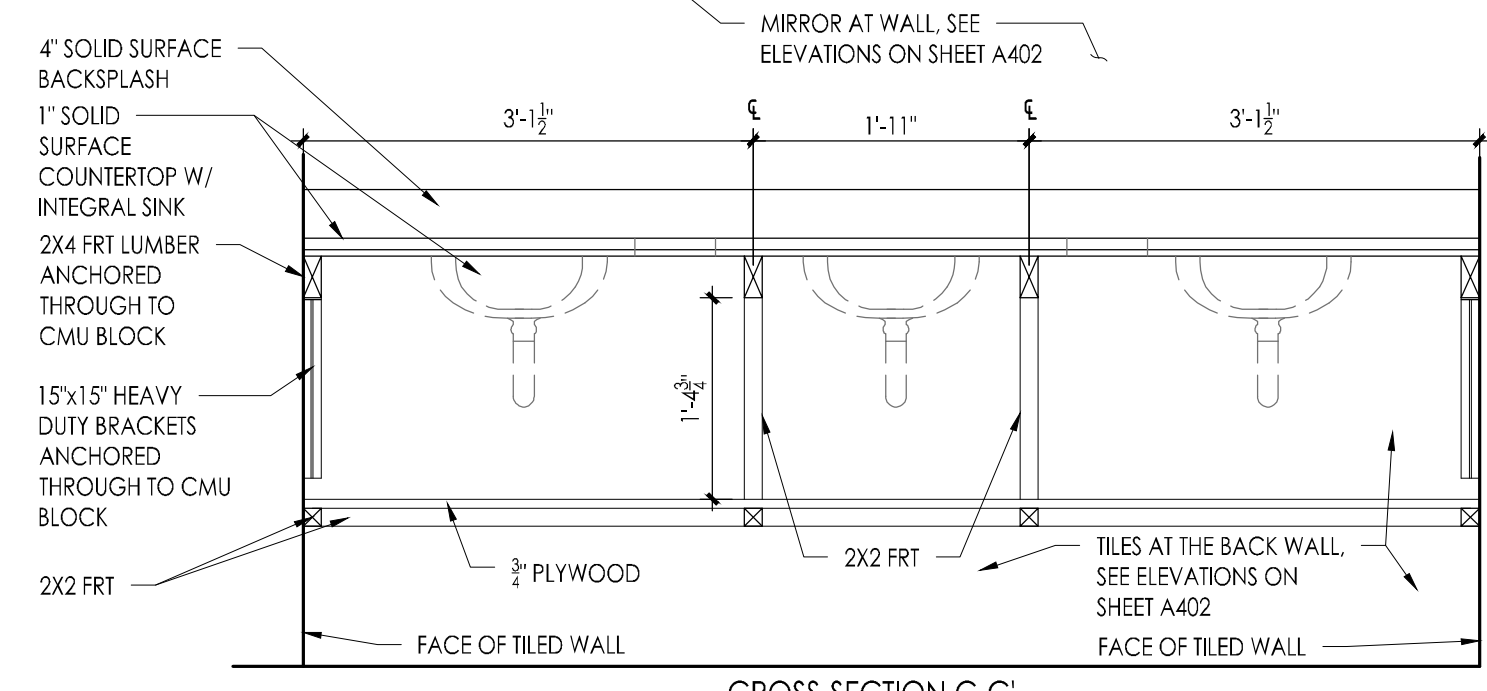
G ENLARGE DETAIL - WOMEN'S ROOM COUNTERTOP
Scale: 3/4" = 1'-0"



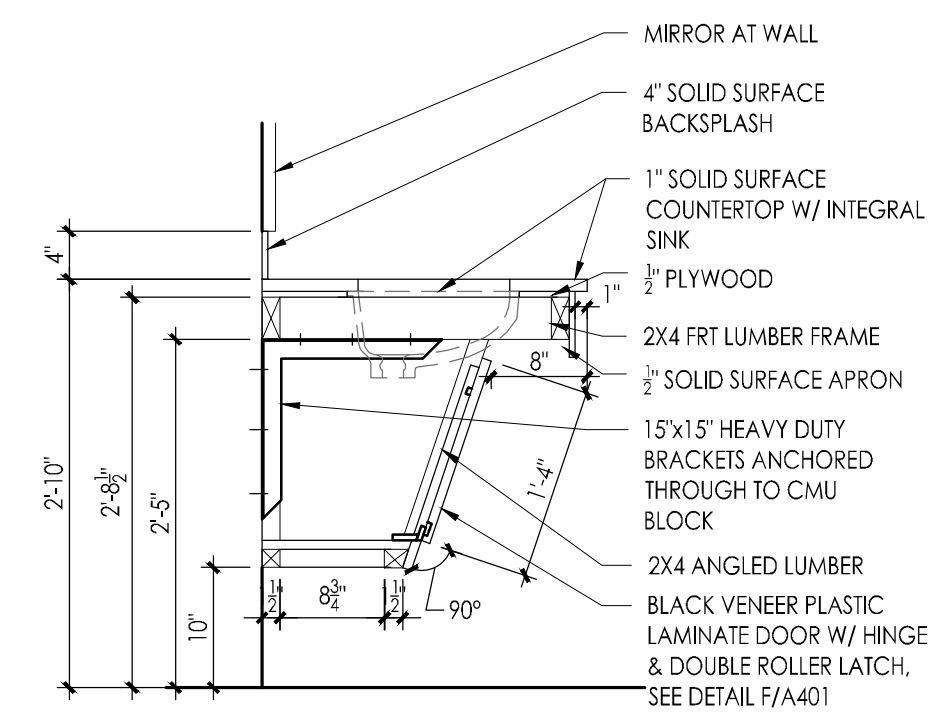
CROSS-SECTION A-A'



H ENLARGE DETAIL - MEN'S ROOM COUNTERTOP
Scale: 3/4" = 1'-0"

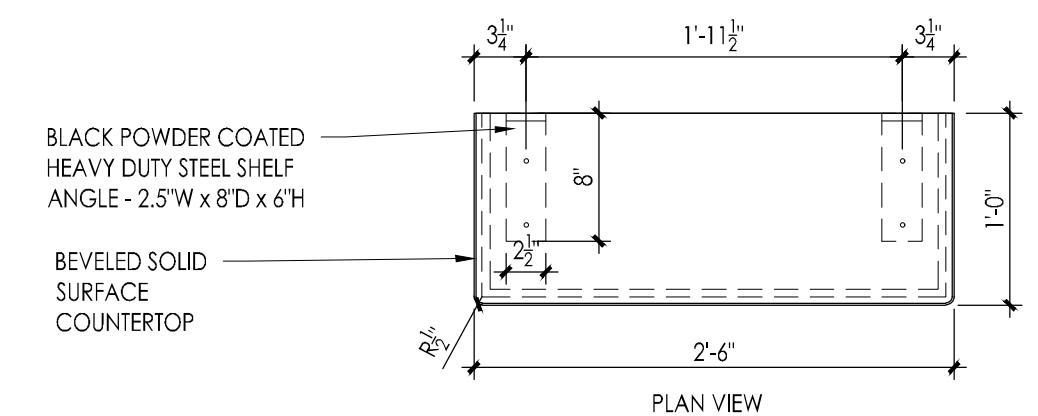


CROSS-SECTION C-C'

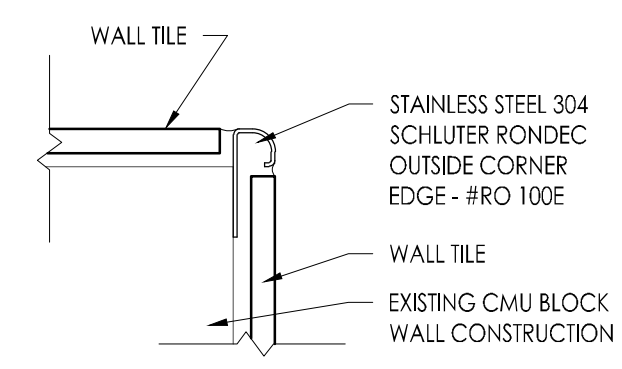


LAVATORY COUNTER LAYOUT & ADA BASE SECTION DETAIL B-B'
Scale: 3/4" = 1'-0"

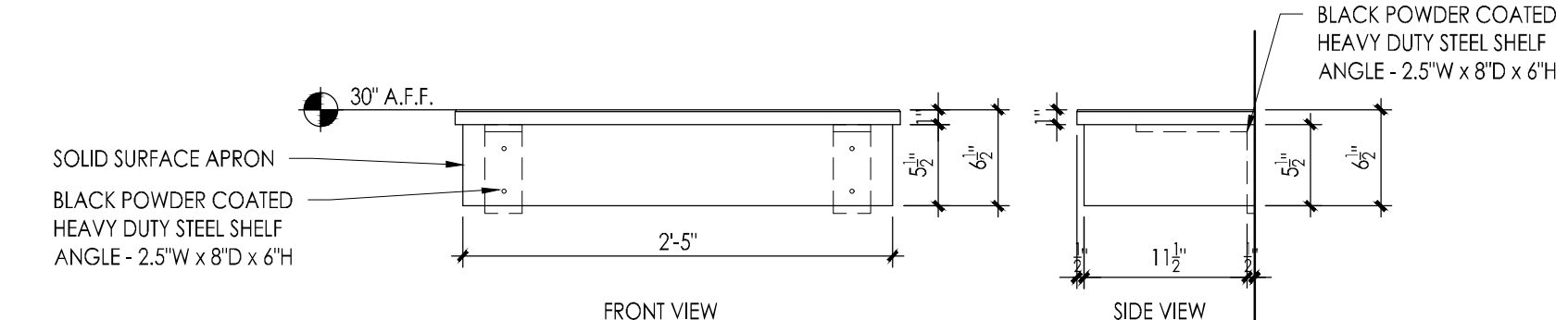
A 6" TRASH GROMMET DETAIL
Scale: 3" = 1'-0"



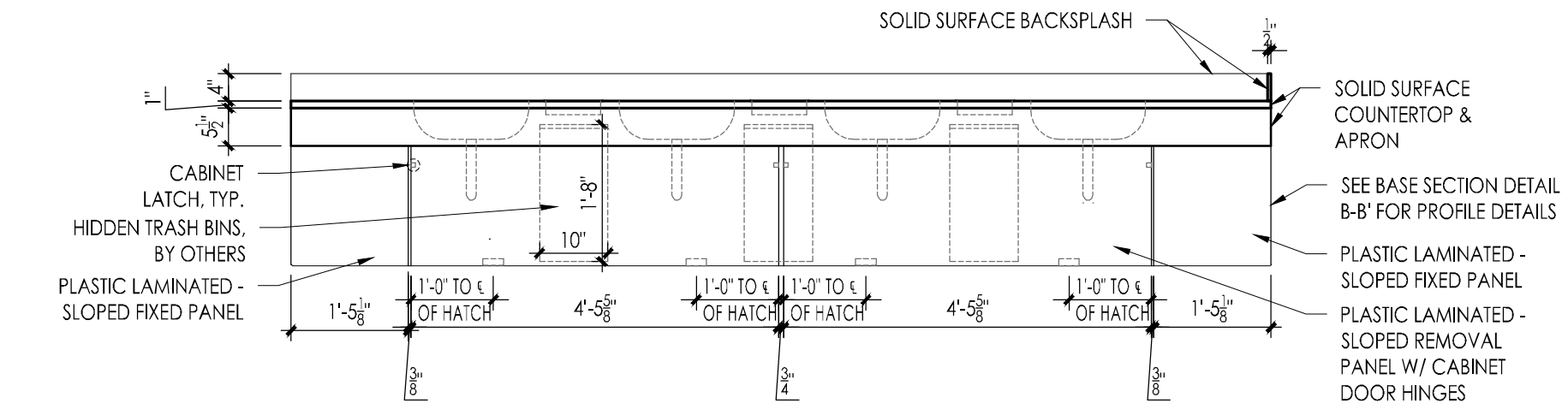
B TILE CORNERGUARD DETAIL
Scale: 6" = 1'-0"



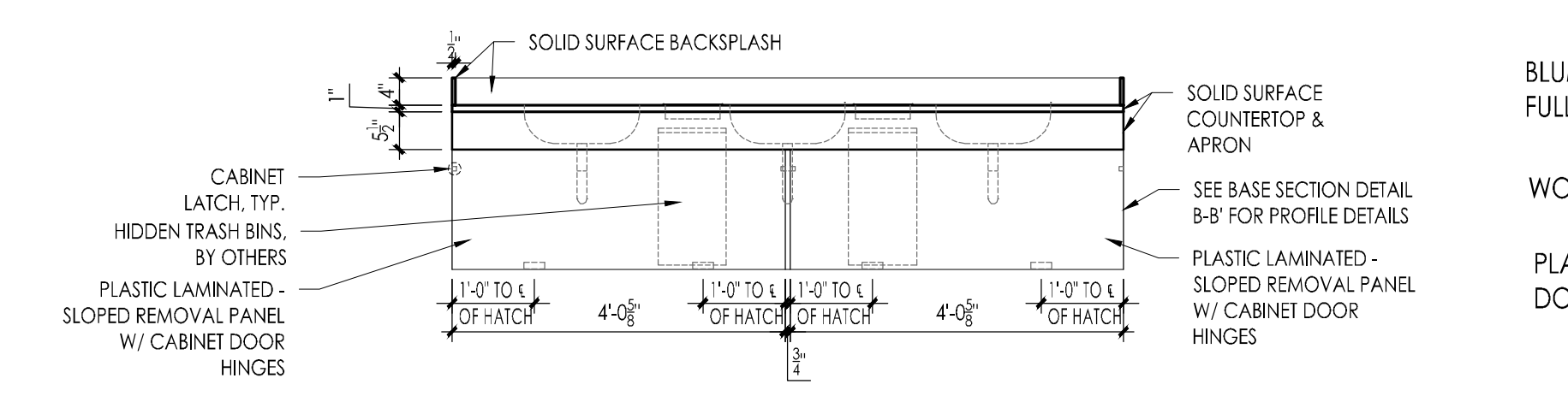
C TYPICAL PERSONAL ITEM SHELF DETAIL
Scale: 1" = 1'-0"



D WOMEN'S VANITY DETAILS
Scale: 1/2" = 1'-0"



E MEN'S VANITY DETAILS
Scale: 1/2" = 1'-0"



GENERAL MILLWORK NOTES:

1. THE GENERAL PRIME CONTRACTOR SHALL TURN OVER TO THE ELECTRICAL PRIME CONTRACTOR IN A PACKAGE. ALL ELECTRICAL DEVICES, BACKBOXES, FACEPLATES, NIPPLES, LOCKNUTS AND ACCESSORIES, ETC., FOR INSTALLATION AND FINAL CONNECTION.
2. THE GENERAL PRIME CONTRACTOR SHALL PROVIDE AN ITEMIZED LIST AND A DESIGNATED SITE LOCATION FOR THE TRANSFER OF THE MATERIALS REFERENCED IN NOTE 1 TO THE ELECTRICAL PRIME CONTRACTOR. THE LIST SHALL HAVE A DESCRIPTION OF THE ITEMS AND QUANTITY ALONG WITH A SIGN-OFF LINE FOR THE ELECTRICAL PRIME CONTRACTOR. A COPY OF THE SIGNED LIST IS TO BE SUBMITTED TO THE ARCHITECT / OWNER PRIOR TO BILLING FOR THIS EQUIPMENT.

ROOM FINISH NOTES:

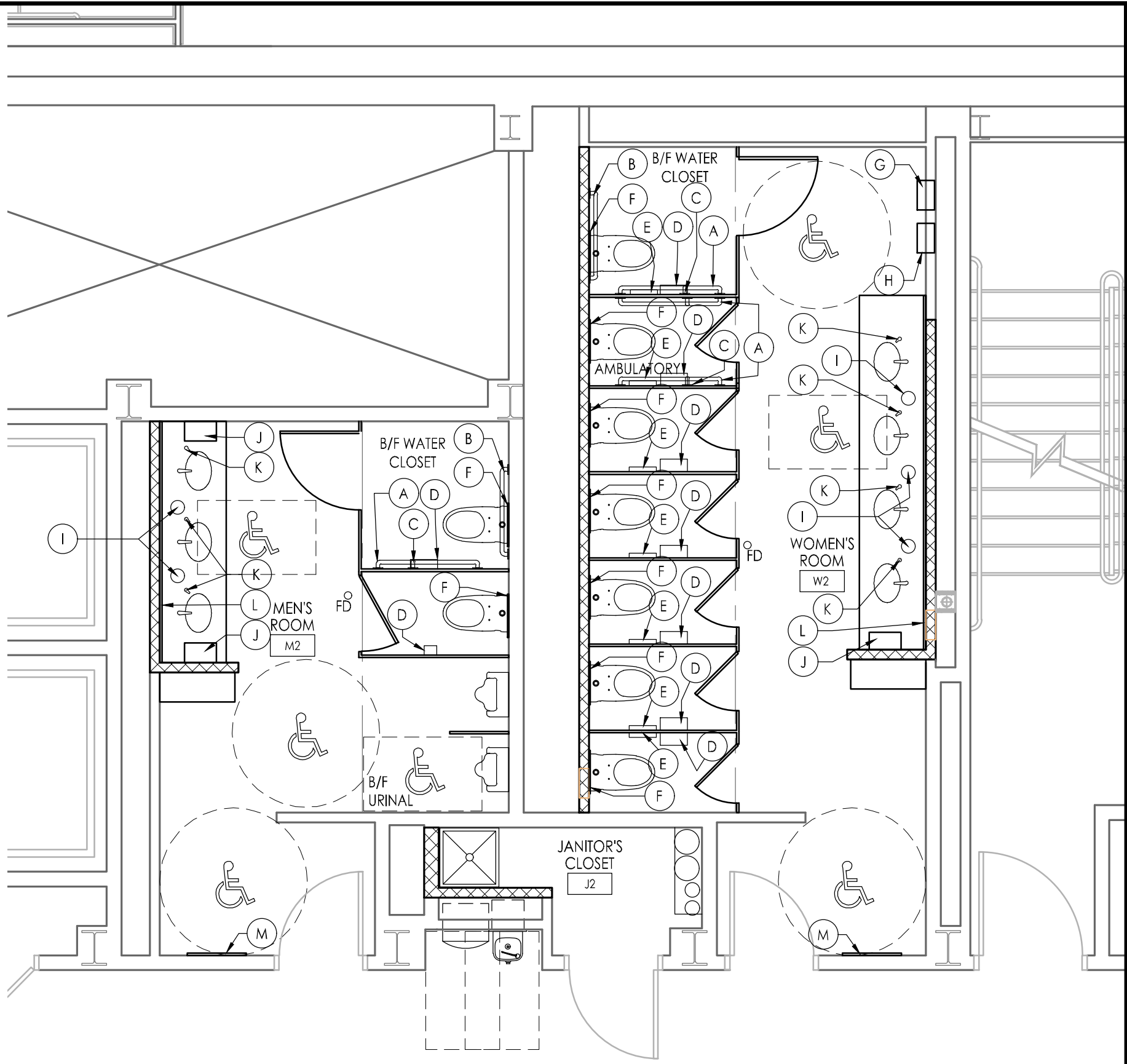
1. FLOOR AND WALLS TO HAVE NEW TILE FINISHES. PREP EXISTING WALL CONSTRUCTION TO REMAIN FOR SMOOTH APPLICATION.
2. TOILET PARTITIONS & ACCESSORIES ARE NEW. U.N.O.
3. LAVATORY SINKS TO BE INTEGRATED INTO COUNTERTOP.
4. NEW SURFACE MOUNTED DISPENSERS AT EXISTING WALL CONSTRUCTION, AND RECESSED AT NEW WALL CONSTRUCTION. U.N.O.
5. WHERE EXISTING WALL OR FLOOR TILE IS TO REMAIN, INSTALL TRANSITION STRIP PRIOR TO INSTALLING NEW TILE. NOTE: AT WALL, CUT THE TILE BACK AS FAR BACK OUT OF VIEW AS POSSIBLE.

ROOM FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR	BASE		WAINSCOT		WALL FINISH		CEILING		NOTES
			MAT.	HT.	MAT.	HT.	MAT.	HT.	MAT.	HT.	
J2	JANITOR'S CLOSET	PT	PT	4"	--	--	PT	AAC3	8'-0"		SEE ROOM FINISH SCHEDULE NOTES: #1 & 5
M2	MEN'S ROOM	PT	PT	4"	--	--	PT	AAC3	8'-0"		SEE ROOM FINISH SCHEDULE NOTES: #1, 2, 3 & 4
W2	WOMEN'S ROOM	PT	PT	4"	--	--	PT	AAC3	8'-0"		SEE ROOM FINISH SCHEDULE NOTES: #1, 2, 3 & 4

TOILET ROOM LAYOUT LEGEND

- ADA 30" x 48" CLEAR FLOOR SPACE
 - ADA 60" TURNING RADIUS
 - B/F BARRIER-FREE
 - NEW FLOOR DRAIN
- REFERENCE SHEET G002 FOR ADDITIONAL PLAN SYMBOLS

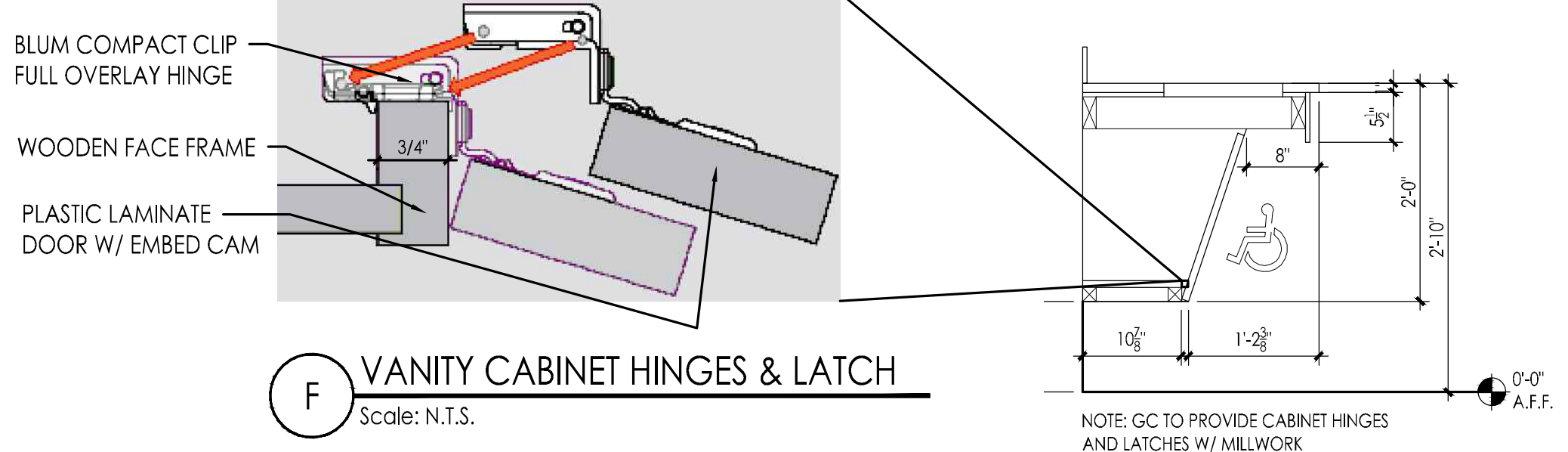
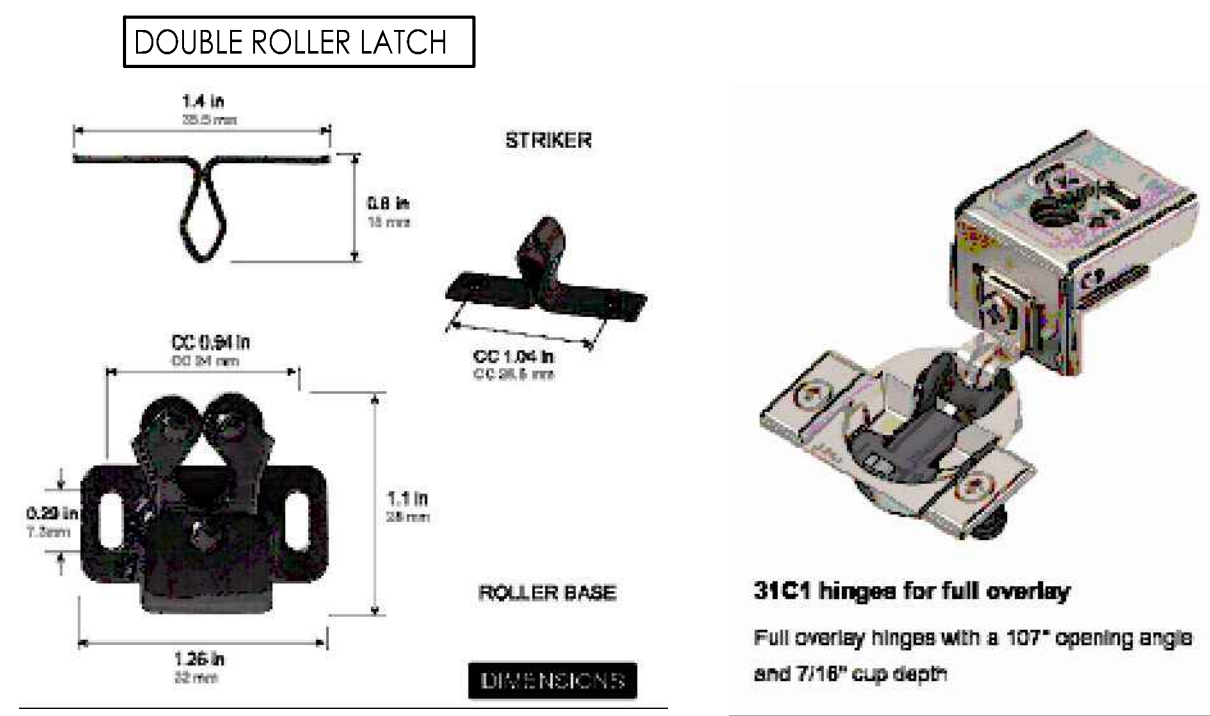


SECOND FLOOR TOILET ROOM ENLARGED PLANS
Scale: 1/4" = 1'-0"

TOILET ROOM ACCESSORIES

NO.	CAT. NO.	DESCRIPTION	SIZE			REMARKS
			H.	D.	W.	
A	#3801-42P	GRAB BAR	--	1 1/2" D.	42"	SAFETY GRIP FINISH; PEENED
B	#3801-36P	GRAB BAR	--	1 1/2" D.	36"	SAFETY GRIP FINISH; PEENED
C	#3801-18P	GRAB BAR	18"	1 1/2" D.	--	SAFETY GRIP FINISH; MOUNT VERTICAL PEENED
D	#5674KB	TOILET PAPER DISPENSER	15-1/16"	8-1/8"	11-15/16"	BY OWNER
E	#0852	NAPKIN DISPOSAL	9-11/16"	4"	7-7/8"	SURFACE MOUNTED; SATIN STAINLESS
F	#0477-5M	TOILET SEAT COVER DISPENSER	12-3/4"	2-3/8"	17-1/4"	SURFACE MOUNTED
G	--	FEMININE HYGIENE DISPENSER	27-1/4"	6-1/2"	17-1/4"	REUSE
H	59471	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	60"	7.88"	17-1/4"	BY OWNER
I	TM1B	TRASH GROMMET	2"	--	6" D.	SATIN STAINLESS STEEL
J	--	TOWEL DISPENSER	--	--	--	BY OWNER
K	--	SOAP DISPENSER	--	--	--	BY OWNER
L	--	WALL MIRROR	V.I.F.	1"	VARIES	STAINLESS STEEL MITERED CORNER WELDED FRAME
M	#0600	BODY WALL MIRROR	60"	1"	24"	STAINLESS STEEL MITERED CORNER WELDED FRAME
N						

TOILET ROOM ACCESSORIES NOTES:
- SALVAGE & REINSTALL EQUIPMENT NOTED "BY OWNER"



WILLIAM D. HOPKINS III, AIA, LEED AP
NJ-358766000 (PA-0612288)
GEORGE E. DUTHIE, JR., AIA, PP
NJ-354297900

JASON J. DIBONITICH, AIA
NJ-354297900 (PA-0646000)

GFVHD architects
planners
Fraytak Veisz Hopkins Duthie P.C.
1515 Lower Ferry Road - Trenton - New Jersey 08618
Corporate: 140 Whitaker Ave - Moon Twp - Pennsylvania 19383
Phone: 610-426-1100
Fax: 610-426-1101
www.gfvh.com

Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
New Jersey Manufacturers Insurance Company
NJM Project # WT.C.2024.009

Project Location
301 Sullivan Way,
West Trenton, NJ 08628

Project Number
5578

Project Date
11.08.2024

Checked By
GRD

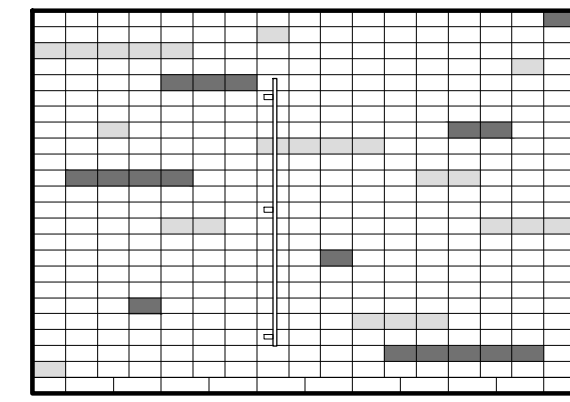
Drawn By
SB

Scale
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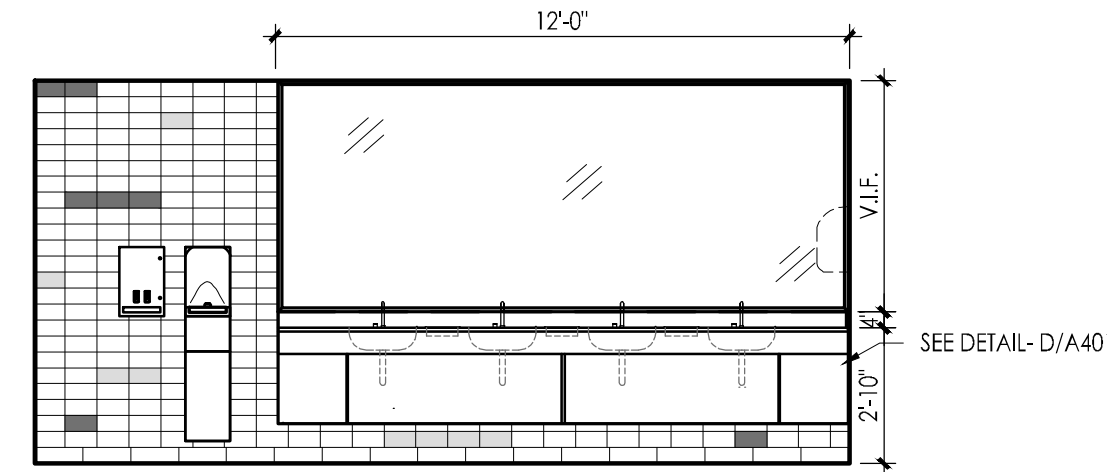
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Second Floor Toilet Rooms Layout, Notes & Details

Revisions
No. | Date | Description

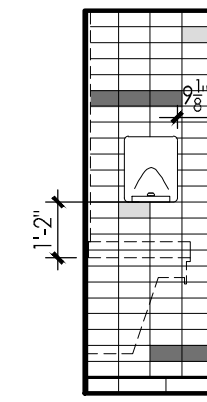
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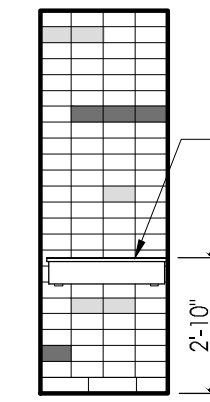
1 WOMEN'S TOILET W2- ELEVATION
Scale: 1/4"=1'-0"



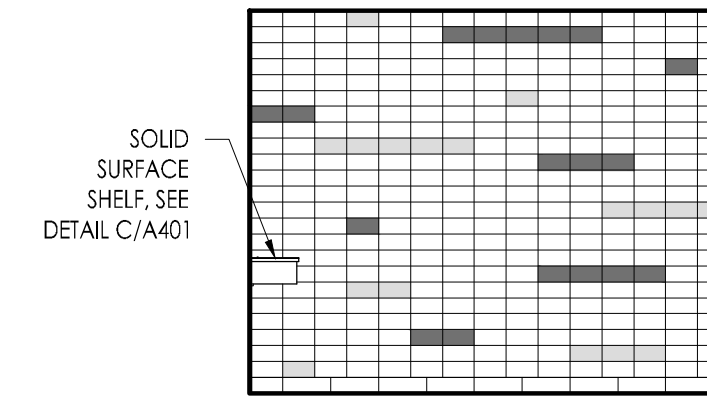
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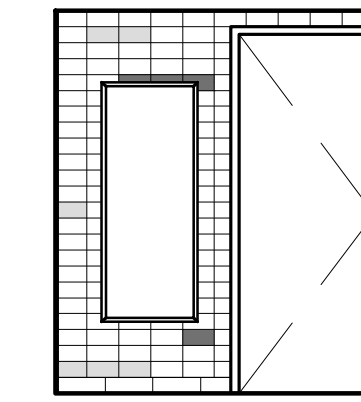
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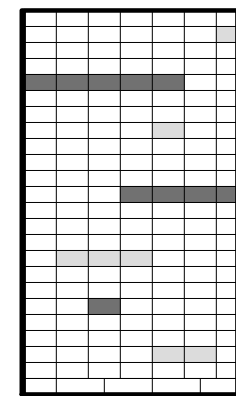
4 WOMEN'S TOILET W2- ELEVATION
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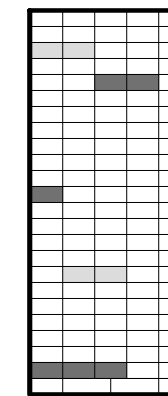
5 WOMEN'S TOILET W2- ELEVATION
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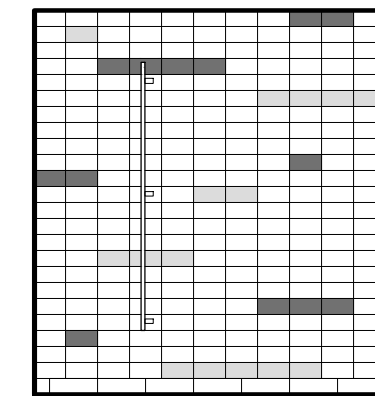
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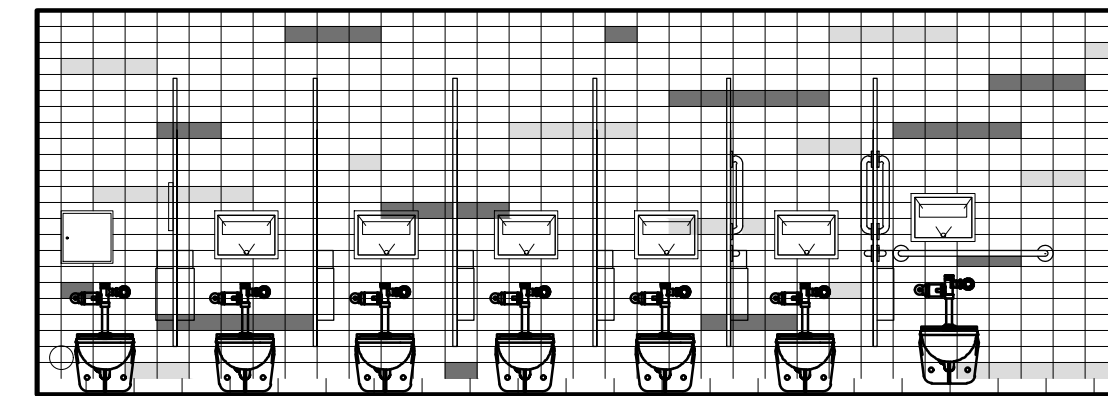
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Scale: 1/4"=1'-0"



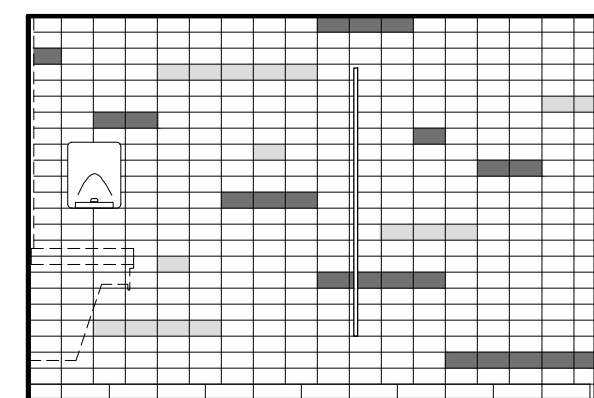
8 WOMEN'S TOILET W2- ELEVATION
Scale: 1/4"=1'-0"



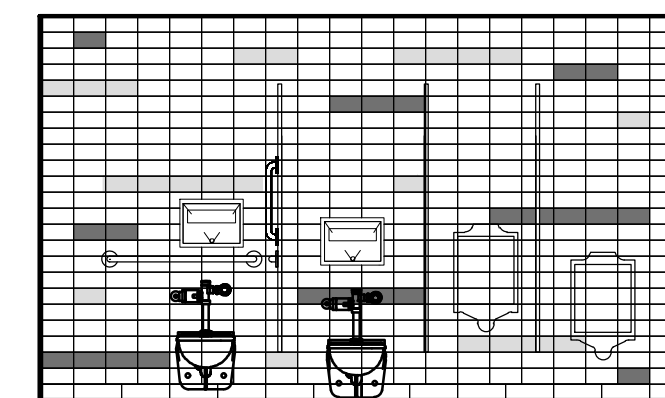
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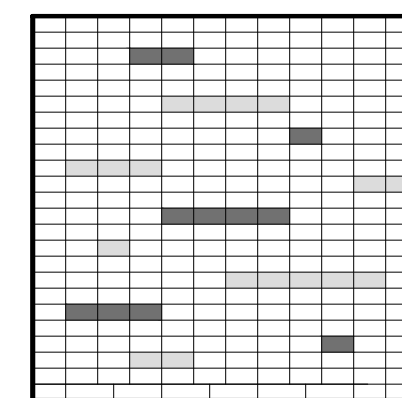
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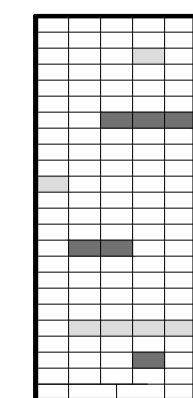
11 MEN'S TOILET M2- ELEVATION
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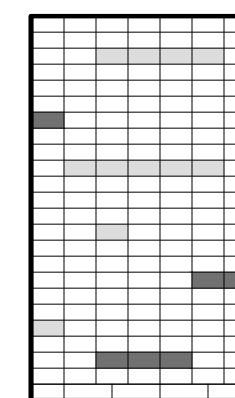
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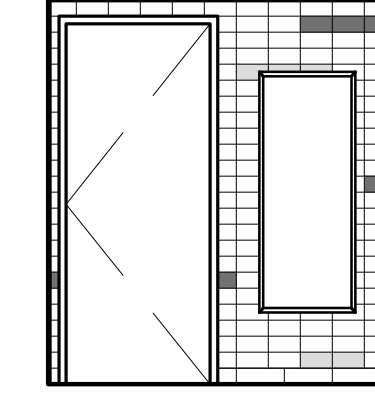
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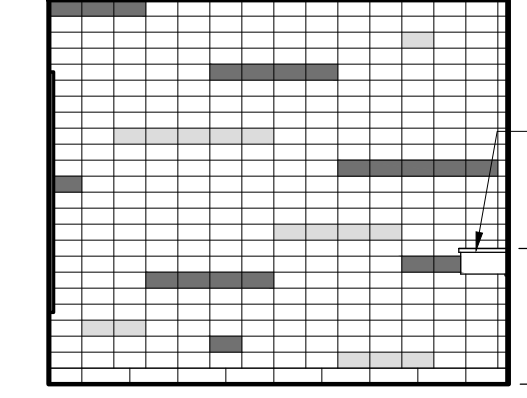
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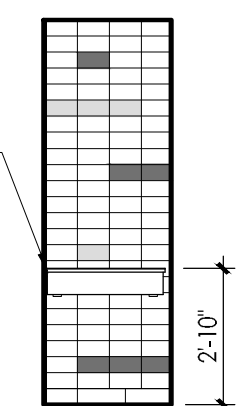
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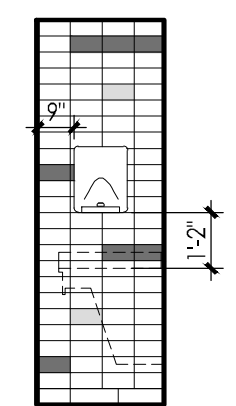
16 MEN'S TOILET M2 - ELEVATION
Scale: 1/4"=1'-0"



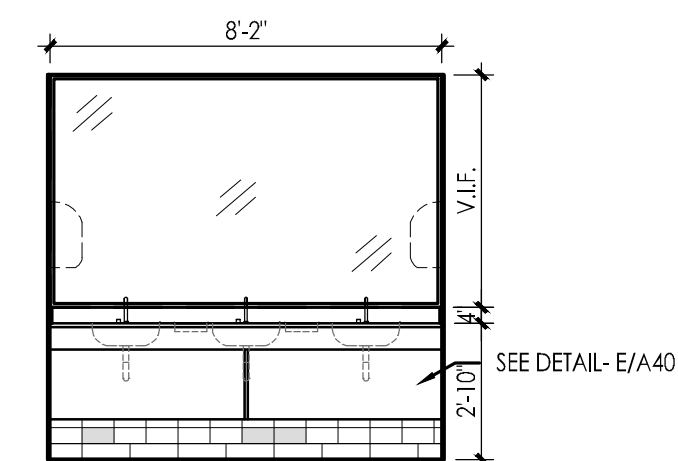
17 MEN'S TOILET M2 - ELEVATION
Scale: 1/4"=1'-0"



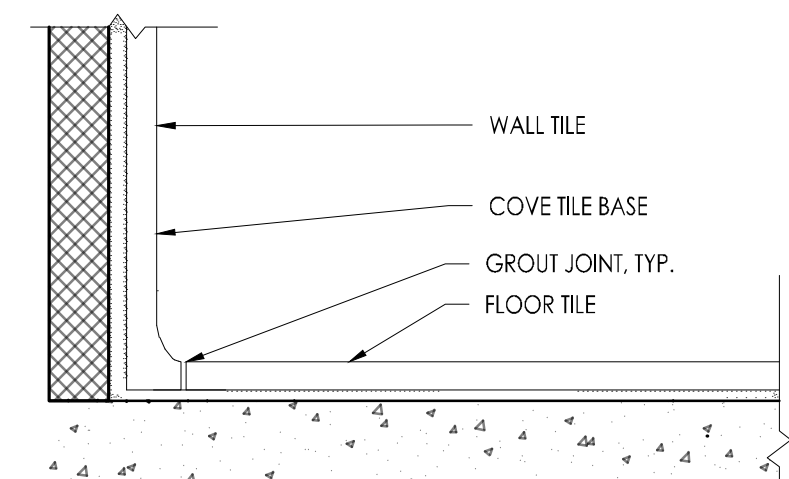
18 MEN'S TOILET M2- ELEVATION
Scale: 1/4"=1'-0"



19 MEN'S TOILET M2- ELEVATION
Scale: 1/4"=1'-0"



20 MEN'S TOILET M2- ELEVATION
Scale: 1/4"=1'-0"



21 COVE BASE TILE DETAIL
Scale: 6"=1'-0"

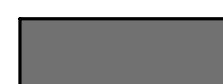
WALL TILE



CT2 CERAMIC TILE (REST ROOM WALLS & JANITOR CLOSET)
GLAZED WALL TILE
AS MANUFACTURED BY: DAL TILE
NAME: LINEAR COLOR WHEEL COLLECTION
SIZE: 4 1/4" x 8 1/2"
COLOR: MATTE ARCTIC WHITE 0790
SEE ELEVATION FOR WALL TILE PATTERN



CT3 CERAMIC TILE (REST ROOM WALLS)
GLAZED WALL TILE
AS MANUFACTURED BY: DAL TILE
NAME: LINEAR COLOR WHEEL COLLECTION
SIZE: 4 1/4" x 8 1/2"
COLOR: MATTE DESERT GRAY X714
SEE ELEVATION FOR WALL TILE PATTERN



CT4 CERAMIC TILE (REST ROOM WALLS)
GLAZED WALL TILE
AS MANUFACTURED BY: DAL TILE
NAME: LINEAR COLOR WHEEL COLLECTION
SIZE: 4 1/4" x 8 1/2"
COLOR: MATTE CHALKBOARD 0780
SEE ELEVATION FOR WALL TILE PATTERN

FLOOR TILE



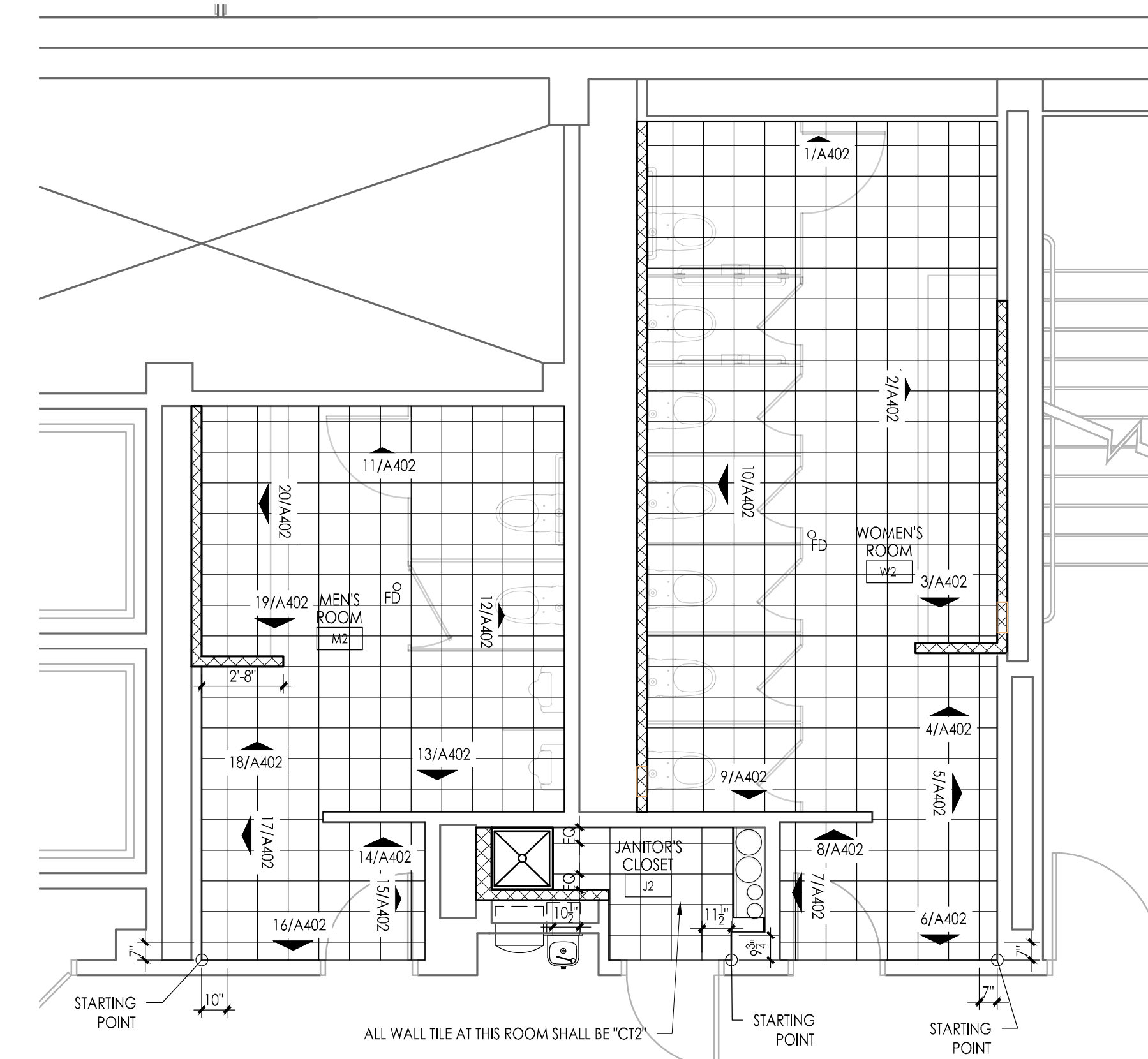
FT1 PORCELAIN FLOOR TILE (RESTROOMS)
AS MANUFACTURED BY: CROSSVILLE
SIZE: 12" x 12"
NAME: COLOR BLOX 2.0
COLOR: SLINKY



TB1 CERAMIC TILE (REST ROOM BASE)
GLAZED BASE TILE
AS MANUFACTURED BY: DAL TILE
NAME: LINEAR COLOR WHEEL COLLECTION
SIZE: 4 1/4" x 8 1/2"
COLOR: MATTE ARCTIC WHITE 0790

COUNTERTOP & SHELF

CORIAN SOLID SURFACE
AS MANUFACTURED BY: DUPONT
SIZE: VARIES
COUNTERTOP COLOR: PLATINUM
LAVATORIES: GLACIER WHITE



ELEVATION KEY & FLOOR TILE LAYOUT PLAN
Scale: 1/4"=1'-0"

WILLIAM D. HOPKINS III, AIA, LEED AP
NJ-140170001 PA-14012006
GEORGE R. DUTHE, JR., AIA, PP
NJ-140179920
JASON J. DUBOWITZ, AIA
NJ-140179901 PA-14003007
Date: 11/08/24

GFVHD architects
planners
Frattak Veisz Hopkins Duthe P C
Corporate: 1815 Lower Ferry Road - Trenton - New Jersey 08610
Pennsylvania: 140 Whitaker Ave - North Clark - Pennsylvania 17463
F V H D P C - C O M

Project Name
Renovations to
Second Floor
Toilet Rooms at
NJM West Trenton
Building A - North

Project Owner Name
New Jersey
Manufacturers
Insurance Company
NJM Project #
WT.C.2024.009

Project Location
301 Sullivan Way,
West Trenton, NJ
08628

Project Number
5578
Project Date
11.08.2024
Checked By
GRD
Drawn By
KAM
Scale
AS NOTED

Drawing Name
Second Floor Toilet
Rooms Elevations,
Finishes & Elevation
Key Plan

Revisions		
No.	Date	Description

Drawing Number
A402

DOOR AND FRAME SCHEDULE

DR NO	DOOR LOCATION	DOOR				FRAME			HARDWARE	RATING	SIGN TYPE	NOTES
		SIZE	TYPE	MATL	GLAZING	TYPE	DETAIL					
							MATL	HEAD				
J2	JANITOR'S CLOSET J2	3'-0" x 7'-0"	ETR	ETR	--	ETR	ETR	--	--	--	SEE DOOR SCHEDULE NOTES #: 1 & 3	
M2	MEN'S ROOM M2	2'-10" x 7'-0"	ETR	ETR	--	ETR	ETR	1.0	--	2	SEE DOOR SCHEDULE NOTES #: 1 & 2	
W2	WOMEN'S ROOM W2	2'-10" x 7'-0"	ETR	ETR	--	ETR	ETR	1.0	--	2	SEE DOOR SCHEDULE NOTES #: 1 & 2	

MANUFACTURER'S ABBREVIATIONS:
 ALLEGION - LCN
 ROCKWOOD - RO

HARDWARE SET #1.0

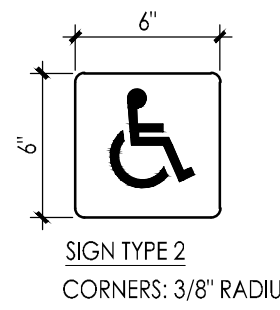
- (1) KICKPLATE K1050 10" HIGH CSK BEV US32D RO
- (1) DOOR PULL(ADA) - 110 - RKW US32DMS RO
- (1) PUSH PLATE - 71C 4"x16" US32D RO
- (1) DOOR CLOSER - 4040XP SERIES LCN
- (1) WALL STOP - 406 US32D RO
- (3) SILENCER - 608-RKW/609 US32D/630 RO

GENERAL DOOR NOTES

1. ALL DOORS AND FRAMES ARE EXISTING TO REMAIN.
2. SEE SADDLE DETAILS ON SHEET.
3. DOORS AND FRAMES SHALL BE PATCHED FROM REMOVAL OF HARDWARE AND PREPPED TO RECEIVE NEW HARDWARE
4. AT BARRIER-FREE STALL DOORS -PROVIDE VANDAL-RESISTANT SIGN AS MANUFACTURED BY AMERICRAFT INC. SIGN SHALL BE INJECTION MOLDED PROCESS, 1/8" THICK ACRYLIC WITH NON-GLARE CLEAR FRONT SURFACE, GRAPHICS AND COLORS ON SECOND SURFACE (BACK SURFACE), WITH RADIUS CORNERS AND STEPPED EDGING. PROVIDE TACTILE PLASTIC SIGNS DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY IN TACTILE FORM AND ACCOMPANIED BY GRADE II BRAILLE. - SEE SIGNAGE DETAIL ON SHEET.

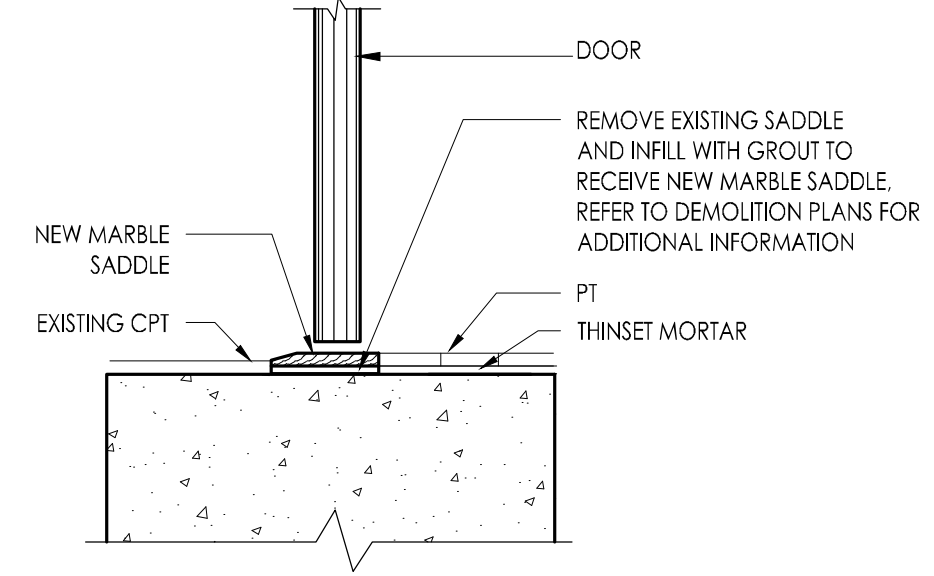
DOOR SCHEDULE NOTES

1. PAINT EXISTING DOOR AND FRAME.
2. DOOR TO RECEIVE HARDWARE #1.0
3. REMOVE EXISTING DOOR HARDWARE AND STORE. REPLACE EXISTING HARDWARE AFTER DOOR AND FRAME HAS BEEN PAINTED.



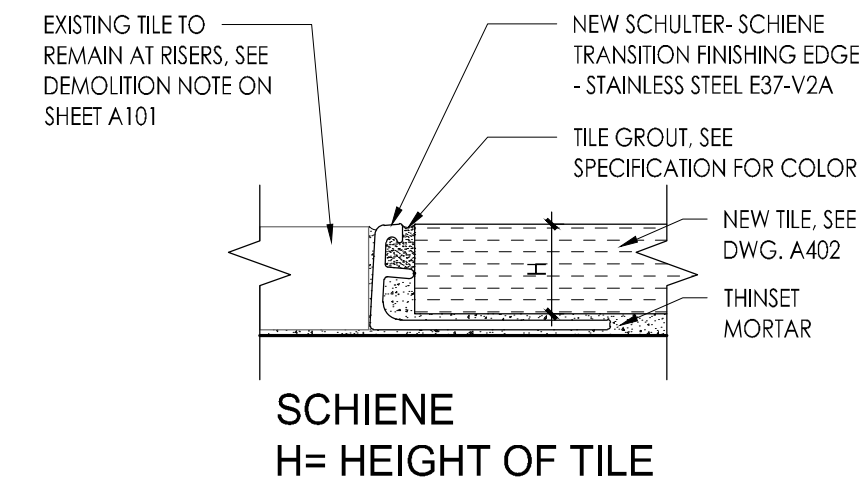
SIGNAGE DETAIL

Scale: 1-1/2" = 1'-0"



SADDLE DETAIL

Scale: 1-1/2" = 1'-0"



TRANSITIONAL FINISH EDGE AT JANITOR'S CLOSET ON 2ND FLOOR

Scale: N.T.S.

WILLIAM D. HOPKINS III, AIA LEED AP
 NJ-358786000 PA-14612326A
 GEORGE R. DUTHIE JR., AIA PP
 NJ-174022990
 JASON J. DUBOWITZ, AIA
 NJ-3520197800 PA-13463000
 F.V.H.D. Architects
 11/08/24
 F.V.H.D.P.C. - C.O.M.
FVHHD architects
 planners
Fraytak Veisz Hopkins Duthie P.C.
 Corporate: 1515 Lower Ferry Road, Trenton, New Jersey 08618
 Pennsylvania: 140 Whitaker Ave., Moon Twp., Pennsylvania 19453

Project Name
 Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
 New Jersey Manufacturers Insurance Company
 NJM Project # WT.C.2024.009

Project Location
 301 Sullivan Way, West Trenton, NJ 08628

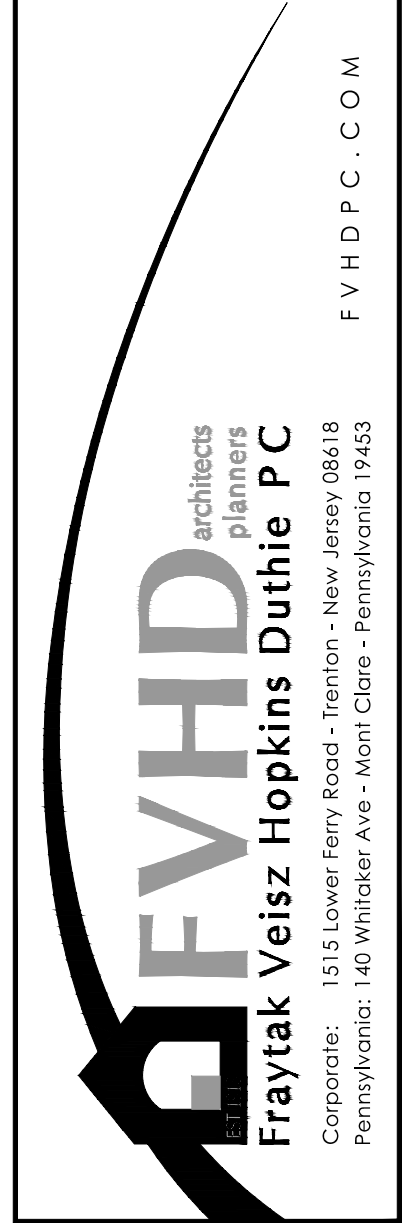
Project Number
 5578
 Project Date
 11.08.2024
 Checked By
 GRD
 Drawn By
 SB
 Scale
 AS SHOWN

Drawing Name
 Door Hardware Schedule, Details & Notes

Revisions		
No.	Date	Description

Drawing Number
A601

WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ-24003880 PA-4612252A
 GEORGE E. DUTHIE JR., AIA, PP
 NJ-240029920
 JASON J. DUBOWITZ, AIA
 NJ-24001978001 PA-8463009
 F.V.H.D. Architects
 Architect



Project Name
 Renovations to
 Second Floor
 Toilet Rooms at
 NJM West Trenton
 Building A - North

Project Owner Name
 New Jersey
 Manufacturers
 Insurance Company
 NJM Project #
 WT.C.2024.009

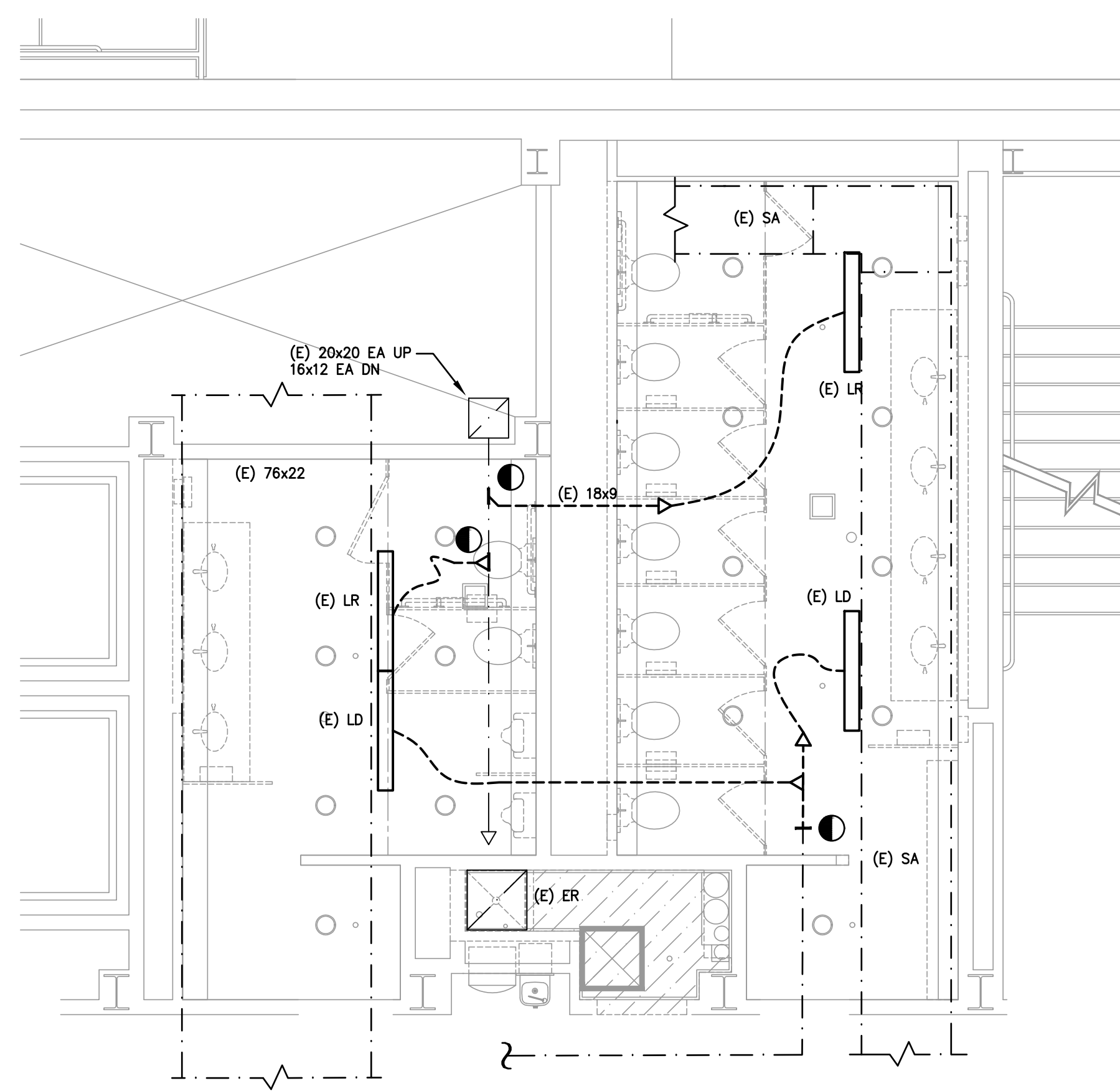
Project Location
 301 Sullivan Way,
 West Trenton, NJ
 08628

Project Number
 5578
 Project Date
 11.08.2024
 Checked By
 NML
 Drawn By
 CL
 Scale
 AS NOTED

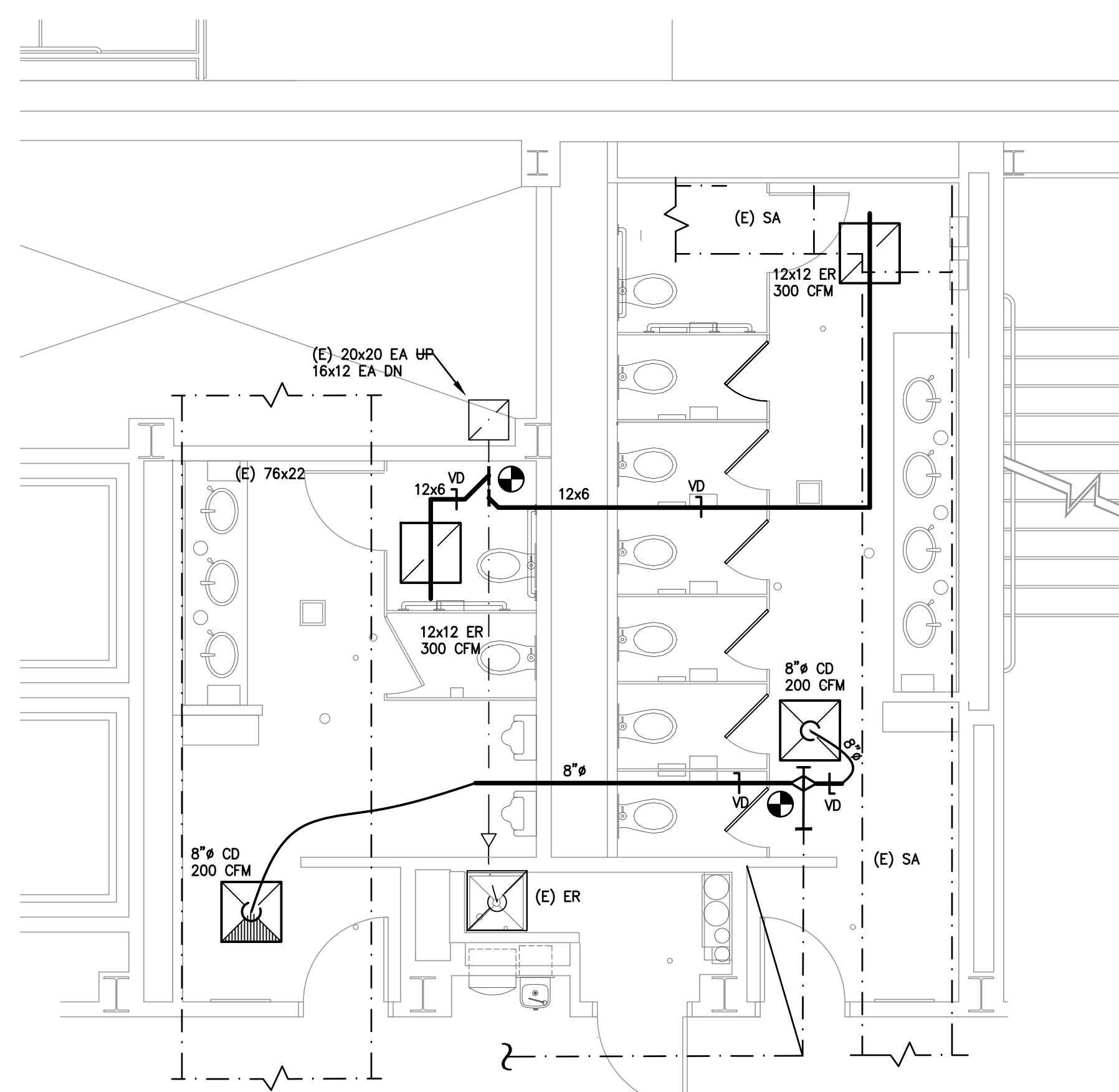
Drawing Name
 SECOND
 FLOOR PART
 PLANS - HVAC

Revisions	No.	Date	Description

Drawing Number
 H101



1 PARTIAL SECOND FLOOR PLAN - HVAC DEMOLITION
 H101 SCALE 1/4" = 1'-0"



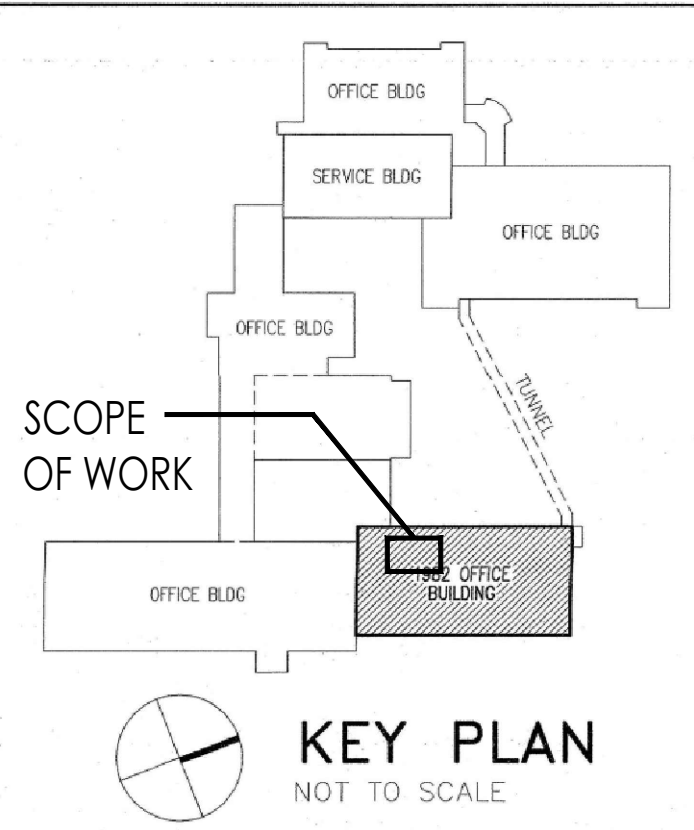
2 PARTIAL SECOND FLOOR PLAN - HVAC
 H101 SCALE 1/4" = 1'-0"

- GENERAL DEMOLITION NOTES**
- CONTRACTOR SHALL HAVE NEBB CERTIFIED TESTING, ADJUSTING AND BALANCING SPECIALIST PERFORM AN PRE-DEMOLITION FLOW REPORT AIR READING OF EXISTING EXHAUST AND MAKE UP AIR SYSTEMS IN THEIR ENTIRETY, INCLUDING PORTIONS OF SYSTEM NOT BEING MODIFIED BY THIS SCOPE. CONTRACTOR SHALL GENERATE A CLEAR REPORT CORRELATING AIR MEASUREMENTS WITH THE FLOOR PLAN LOCATIONS. EXISTING DRAWINGS ARE AVAILABLE UPON REQUEST.
 - ALL EXISTING CEILING DIFFUSERS, REGISTERS AND GRILLES THAT ARE WITHIN THE SCOPE OF WORK SHALL BE REPLACED WITH NEW.
 - REMOVE PORTIONS OF EXISTING SUPPLY & EXHAUST DUCTWORK AS REQUIRED TO FACILITATE THE INSTALLATION OF NEW VOLUME DAMPERS. SEE NEW WORK PLANS FOR LOCATIONS.
 - PATCH ALL UNUSED DUCT OPENINGS AIR TIGHT.

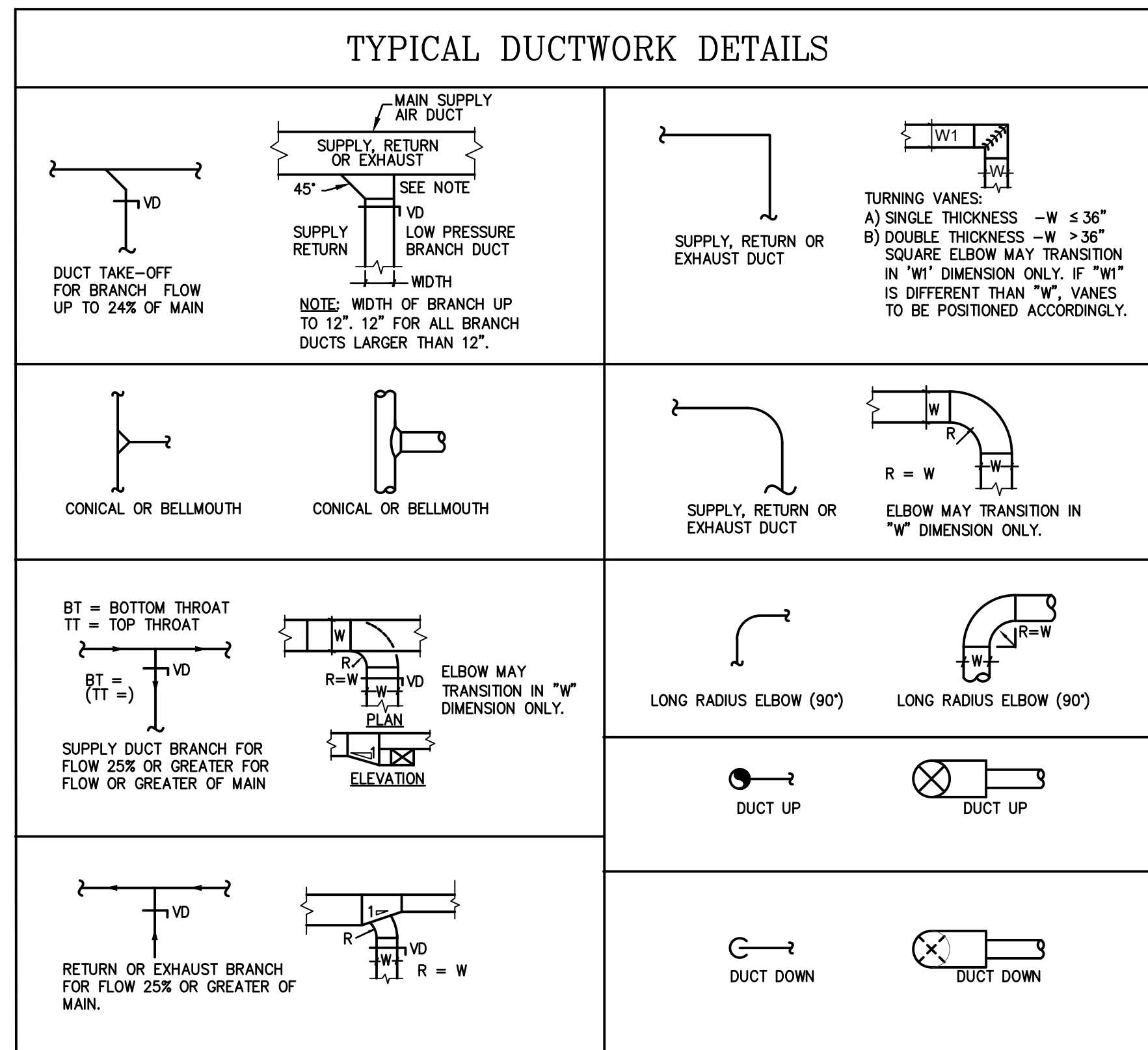
- GENERAL NEW WORK NOTES**
- THESE DRAWINGS DO NOT DEPICT THE ENTIRETY OF THE (E) EXHAUST AND OUTSIDE AIR SYSTEM. REFERENCE DRAWINGS ARE AVAILABLE FROM OWNER. EACH BIDDER SHALL BE FULLY FAMILIAR WITH BALANCING SCOPE PRIOR TO SUBMITTING BID.
 - RE-BALANCE EXISTING EXHAUST AND OUTSIDE AIR SYSTEM IN THEIR ENTIRETIES TO MATCH INITIAL AIR MEASUREMENTS.
 - INTERNALLY CLEAN EXISTING EXHAUST, AND OUTSIDE AIR DUCTWORK AND AIR HANDLING APPARATUS WITHIN SCOPE PER NADCA STANDARDS
 - RUN NEW DUCTWORK AHC TO CLEAR (E) DUCTWORK, PIPING, CONDUITS, STRUCTURE, ETC. PROVIDE SMOOTH OFFSETS AS REQUIRED.
 - CONTRACTOR SHALL COORDINATE EXISTING DUCTWORK AND EQUIPMENT ABOVE HUNG CEILING PRIOR TO INSTALLATION OF NEW WORK.

KELTER & GILLIGO
 consulting engineers
 P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
 Professional Engineer
 NJ 38636



DRAWING REFERENCE SCALE. VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



SYMBOLS LIST

	POINT OF NEW CONNECTION
	POINT OF REMOVAL
	EXISTING WORK TO REMAIN
	EXISTING WORK TO BE REMOVED
	NEW WORK (DOUBLE-LINE & EQPT.)
	NEW WORK (SINGLE-LINE)
	FLOW DIRECTION

	SUPPLY CEILING DIFFUSER
	SUPPLY CEILING REGISTER
	RETURN, EXHAUST CEILING REGISTER
	RETURN, EXHAUST CEILING GRILLE

ABBREVIATIONS

ADJ	ADJUSTABLE
AHC	ABOVE HUNG CEILING
APD	AIR PRESSURE DROP
APPROX &	APPROXIMATE AND
BTU/HR	BRITISH THERMAL UNIT PER HOUR
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
CG	CEILING GRILL
CR	CEILING REGISTER
DIA, Ø	DIAMETER
DN	DOWN
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EAF	EXHAUST FAN
EG	EXHAUST GRILLE
EQUIP	EQUIPMENT
ER	EXHAUST REGISTER
EXIST./E	EXISTING
F	FAHRENHEIT
FD	FIRE DAMPER
FT	FEET
GPM	GALLONS PER MINUTE
HP	HORSE POWER
IN	INCH
IWC	INCHES WATER COLUMN
IWG	INCHES WATER GAUGE
KW	KILLOWATTS
LxWxH	LENGTH, WIDTH, HEIGHT
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LD	LINEAR DIFFUSER
LR	LINEAR RETURN
LWT	LEAVING WATER TEMPERATURE
MAX	MAXIMUM
MD	MOTORIZED DAMPER
MBH	THOUSAND BTU PER HOUR
MFR	MANUFACTURER
MIN	MINIMUM
# NO.	NUMBER
RPM	REVOLUTION PER MINUTE
SPEC	SPECIFICATIONS
SR	SUPPLY REGISTER
ST	SOUND TRAP
TEMP	TEMPERATURE
TYP	TYPICAL
VAV	VOLUME DAMPER
VAV	VARIABLE AIR VOLUME
V/PH/Hz	VOLTS/PHASE/HERTZ
W	WITH
W/PD	WATER PRESSURE DROP

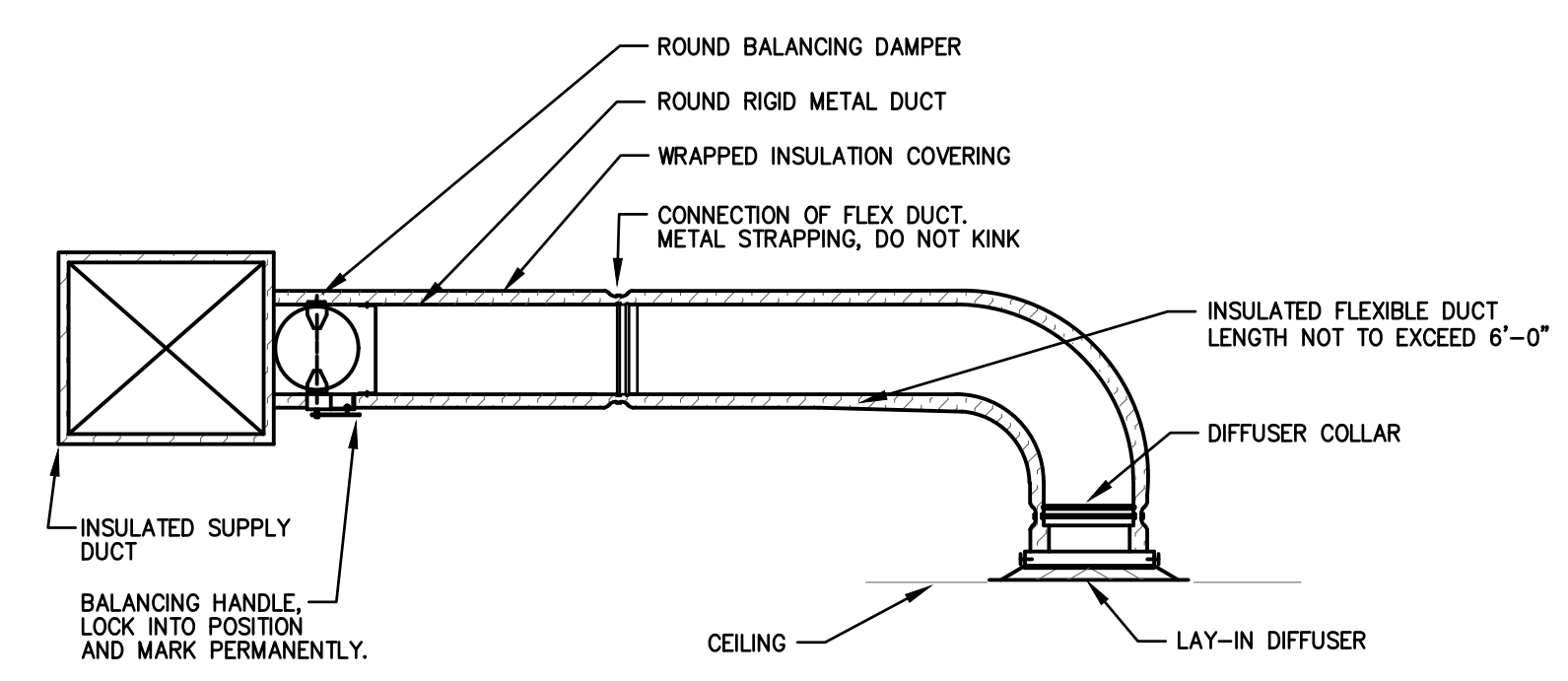
DIFFUSER & REGISTER SCHEDULE

SELECTION BASED ON TITUS

NO.	MARK	REMARKS
1.	CD SHALL BE TITUS MODEL TMS-AA OR APPROVED "EQUAL".	①②③④
2.	ER SHALL BE TITUS MODEL 350-FL OR APPROVED "EQUAL".	②⑤

REMARKS:

- ① LOUVERED FACE, HIGH CAPACITY, ALUMINUM DIFFUSER WITH ROUND NECK AND ADJUSTABLE DISCHARGE PATTERN.
- ② PROVIDE OPPOSED BLADE VOLUME DAMPER.
- ③ PROVIDE EQUALIZING GRID.
- ④ COLOR TO BE SELECTED BY ARCHITECT.
- ⑤ ALUMINUM RETURN/EXHAUST REGISTER WITH BLADES AT 3/4" SPACING AND 35° FIXED DEFLECTION. REFER TO DRAWINGS FOR CORRECT MOUNTING STYLE.
- ⑥ EXTRUDED ALUMINUM CONSTRUCTION. END FRAMES TO MATCH DUCT CURVATURE. DOUBLE DEFLECTION CORE WITH INDIVIDUALLY ADJUSTABLE AIRFLOW BLADES. 3/4" BLADE SPACING.



- NOTES:
1. PROVIDE AT FLEXIBLE DUCT CONNECTION METAL OR "PANDUIT" DRAWBAND ON THE INTERIOR FLEXIBLE DUCT HELIX. SECURE THE INSULATION OVER THE DRAWBAND WITH AN ADDITIONAL DRAWBAND.
 2. PROVIDE BEADING ON ROUND METAL DUCT 12" OR LARGER IN DIAMETER.
 3. PROVIDE MINIMUM 2" COLLARS FOR ATTACHMENT OF THE FLEX DUCT TO ROUND DUCT, DAMPERS AND DIFFUSERS. BAND RIGID ROUND DUCT INSULATION TO DUCT AND PROVIDE TAPE FOR INSULATION OVERLAP.
 - 4.

HVAC SPECIFICATIONS:

1.0 GENERAL

- GOVERNING CODES AND STANDARDS
 - NJ UNIFORM CONSTRUCTION CODE
 - INTERNATIONAL BUILDING CODE, NJ EDITION
 - INTERNATIONAL MECHANICAL CODE
 - NFPA STANDARDS 90A
 - ALL APPLICABLE ASHRAE STANDARDS
 - ALL APPLICABLE SMACNA STANDARDS
 - NATIONAL ELECTRICAL CODE
 - UL (ALL EQUIPMENT MUST BE LABELED)
 - INBEB.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH RECOGNIZED INDUSTRY STANDARDS, GOVERNING CODES, APPROVED SHOP DRAWINGS AND MANUFACTURER'S INSTRUCTIONS.
- PERMITS: OWNER SHALL ACQUIRE ALL PERMITS AND PAY ALL FEES REQUIRED FOR THE EXECUTION OF THIS CONTRACT.
- WARRANTY: THE EQUIPMENT SHALL HAVE A FULL COVERAGE WARRANTY FOR A PERIOD OF TWO (2) YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER. IF DURING THIS PERIOD, ANY PART SHOULD FAIL TO FUNCTION PROPERLY DUE TO DEFECTS IN WORKMANSHIP OR MATERIAL, IT SHALL BE REPLACED OR REPAIRED AT THE DISCRETION OF THE MANUFACTURER. MANUFACTURER SHALL HAVE FIFTEEN YEARS EXPERIENCE IN THE U.S. MARKET.
- BEFORE SUBMITTING BIDS, CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND BECOME THOROUGHLY FAMILIAR WITH THE OBSERVABLE EXISTING CONDITIONS AFFECTING HIS WORK. NO ADDITIONAL COMPENSATION WILL BE GRANTED ON ACCOUNT OF EXTRA WORK MADE NECESSARY BY THE CONTRACTOR'S FAILURE TO INVESTIGATE EXISTING CONDITIONS.
- SUBMIT COMPOSITE COORDINATION SHOP DRAWINGS THAT SHOW ALL EXISTING AND NEW DUCTWORK, HVAC PIPING, PLUMBING PIPING, CONDUITS, LIGHTING FIXTURES, BUILDING STRUCTURE, CEILING MOUNTED EQUIPMENT, ETC. EXACT ELEVATION OF ALL COMPONENTS SHALL BE INDICATED
- CONTRACTOR SHALL SUBMIT AS-BUILT HVAC DRAWINGS TO ARCHITECT AFTER SATISFACTORY COMPLETION OF PROJECT.
- CONTRACTOR SHALL PROVIDE OWNER WITH FIVE (5) COPIES OF OPERATION AND MAINTENANCE MANUALS PRIOR TO ACCEPTANCE OF FINAL PAYMENT.
- LABEL ALL DUCTS, PROVIDE NAMEPLATES ON ALL EQUIPMENT.
- OPERATION & MAINTENANCE MANUALS

2.0 SUBMITTALS

- SHOP DRAWINGS SHALL BE REQUIRED FOR: ALL EQUIPMENT, MATERIALS, MEANS & METHODS INTENDED FOR USE UNDER THIS CONTRACT.
- PRIOR TO DELIVERY TO THE JOB SITE, BUT SUFFICIENTLY IN ADVANCE OF REQUIREMENTS NECESSARY TO ALLOW ARCHITECT AMPLE TIME FOR REVIEW, SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT, FIXTURES, MATERIAL, PIPING, DUCTWORK, SLEEVES, WIRING DIAGRAMS, ETC. AND FURTHER OBTAIN WRITTEN COMMENTS OF "APPROVED" OR "APPROVED AS NOTED" FOR THE SAME FROM ARCHITECT BEFORE INSTALLING ANY OF THESE ITEMS.
- SHOP DRAWINGS SHALL CONSIST OF MANUFACTURER'S CERTIFIED SCALE DRAWINGS, CUTS, OR CATALOGUES, INCLUDING DESCRIPTIVE LITERATURE AND COMPLETE CERTIFIED CHARACTERISTICS OF EQUIPMENT, FIXTURES, ETC. SHOWING DIMENSIONS, CAPACITY, CODE REQUIREMENTS, MOTOR AND DRIVE TESTING, AS INDICATED IN THE CONTRACT DOCUMENTS.
- CERTIFIED PERFORMANCE CURVES FOR ALL MECHANICAL EQUIPMENT SHALL BE SUBMITTED FOR REVIEW.
- SAMPLES, DRAWINGS, SPECIFICATIONS, CATALOGUES, ETC., SUBMITTED FOR REVIEW SHALL BE PROPERLY LABELED INDICATED PROJECT NAME, AND SPECIFIC SERVICE FOR WHICH MATERIAL OR EQUIPMENT IS TO BE USED.
- FAILURE TO SUBMIT SHOP DRAWINGS IN AMPLE TIME FOR CHECKING SHALL NOT ENTITLE AN EXTENSION OF CONTRACT TIME, AND NO CLAIM FOR EXTENSION BY REASON OF SUCH DEFAULT SHALL BE ALLOWED.
- PRIOR TO SUBMISSION OF SHOP DRAWINGS CONTRACTOR SHALL THOROUGHLY CHECK EACH SHOP DRAWING, REJECT THOSE NOT CONFORMING TO THE SPECIFICATIONS, AND INDICATE BY SIGNED, STAMPED, & WRITTEN DECLARATION THAT THE SHOP DRAWINGS SUBMITTED MEET CONTRACT REQUIREMENTS.
- THE COMMENT "APPROVED" OR "APPROVED AS NOTED" RENDERED ON SHOP DRAWINGS SHALL NOT BE CONSIDERED AS A GUARANTEE OF MEASUREMENTS OR BUILDING CONDITIONS. WHERE DRAWINGS ARE REVIEWED, SAID REVIEW DOES NOT IN ANY WAY RELIEVE THE RESPONSIBILITY, OR NECESSITY, OF FURNISHING MATERIAL OR PERFORMING WORK AS REQUIRED BY THE CONTRACT DRAWINGS AND SPECIFICATIONS
- "APPROVED AS NOTED" MEANS, UNLESS OTHERWISE NOTED ON THE DRAWINGS, TO APPROVE FOR CONSTRUCTION, FABRICATION, AND/OR MANUFACTURE SUBJECT TO THE PROVISION THAT THE WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH ALL ANNOTATIONS AND/OR CORRECTIONS INDICATED ON THE SHOP DRAWINGS AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 - WHERE THE COMMENT "APPROVED AS NOTED" INCLUDES DIRECTION TO THE CONTRACTOR TO RESUBMIT CORRECTED SHOP DRAWINGS FOR RECORD; FAILURE TO COMPLY WITH THE INSTRUCTION TO RESUBMIT RECORD COPY SHALL RENDER ALL APPROVAL NULL AND VOID.

3.0 IDENTIFICATION

- PROVIDE IDENTIFICATION FOR DUCTWORK AND EQUIPMENT.
- IDENTIFICATION SHALL BE IN ACCORDANCE WITH "SCHEME FOR IDENTIFICATION OF PIPING SYSTEM ANSI A13.1" AND OSHA SAFETY COLOR REGULATION.

- MARKERS SHALL BE SNAP-ON TYPE AS MANUFACTURED BY SETON NAMEPLATE CORP., NEW HAVEN, CONN. (SETMARK SYSTEM), BUNTING STAMP CO. INC., PITTSBURGH, P.A. OR APPROVED EQUAL MARKERS SHALL COMPLETELY ENCRIRCLE THE PIPE WITH A SUBSTANTIAL OVERLAP. NO ADHESIVE SHALL BE USED. THEY SHALL BE MANUFACTURED OF U.L. APPROVED, SELF-EXTINGUISHING PLASTIC.
- PROVIDE FOR EACH ITEM OF EQUIPMENT, INCLUDING VAV BOXES, A PERMANENTLY ATTACHED NAMEPLATE MADE OF BLACK SURFACE, WHITE CORE LAMINATED BAKELITE WITH INCISED LETTERS. SUBCONTRACTOR FURNISHING EQUIPMENT SHALL PROVIDE NAMEPLATE. NAMEPLATES SHALL BE A MINIMUM OF 3" LONG BY 1 1/2" WIDE AND SHALL BEAR THE EQUIPMENT NAME AND ITEM NUMBER OF 1/2" HIGH WHITE LETTERS AS DESIGNATED IN THE EQUIPMENT SCHEDULE. MOUNTING SCREWS SHALL HAVE CHROME PLATED ACORN HEADED SCREWS.

4.0 BALANCING

- NEBB CERTIFIED BALANCING COMPANY MUST BE A COMPANY WHICH IS INDEPENDENT OF THE CONTRACTOR AND BE APPROVED FOR USE BY THE OWNER PRIOR TO BALANCING THE SYSTEM.
- BALANCE THE HEATING AND COOLING SYSTEMS TO PROVIDE UNIFORM TEMPERATURES IN ALL HEATED OR COOLED AREAS AND ROOMS.
- BALANCE AIR SYSTEMS TO QUANTITIES INDICATED AND FURNISH A REPORT INDICATING DIFFUSER, REGISTER SIZES, LOCATIONS AND CFM VALUES INCLUDING ROOF TOP UNIT CFM ACTUAL FAN PERFORMANCE DATA.
- THE CONTRACTOR SHALL SUBMIT AN AIR BALANCE REPORT PRIOR TO FINAL ACCEPTANCE.
- MAKE PRELIMINARY OUTLET READINGS AND BALANCE THE OUTLETS TO DESIGN CFM AND RECORD ALL READINGS.

5.0 SHEET METAL WORK

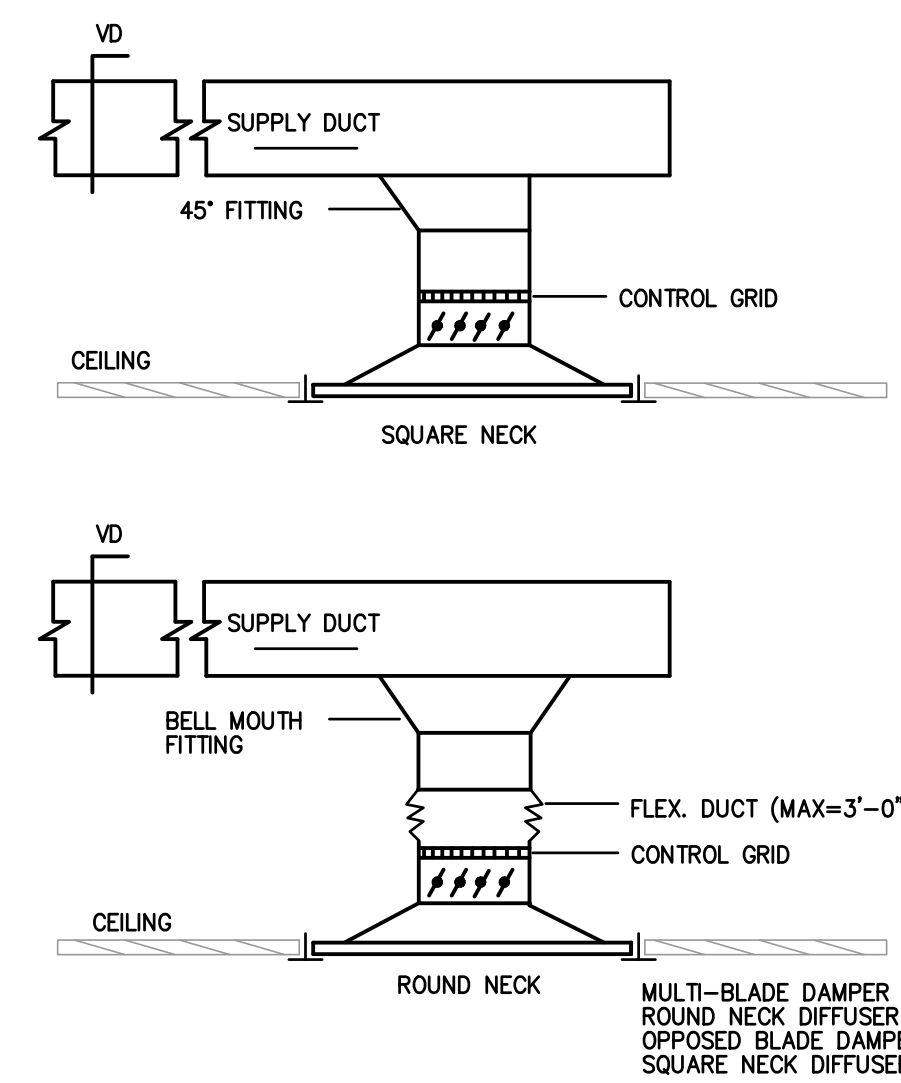
- FURNISH AND INSTALL ALL SHEET METAL DUCTWORK, PLENUMS, AND ITEMS OF METAL WORK AS NECESSARY TO COMPLETE THE VARIOUS AIR CONDITIONING, VENTILATING AND HEATING SYSTEMS OF THE BUILDING SO THEY ARE READY FOR SATISFACTORY OPERATION. WHILE THE INSTALLATION SHOULD ADHERE TO THE PLANS AND SPECIFICATIONS AS MUCH AS POSSIBLE, THE CONTRACTOR SHALL BE ENTITLED TO MODIFY THE RUNS AND SIZES OF THE DUCTWORK AND TO MAKE OFFSETS, WHERE NECESSARY TO ACCOMMODATE BUILDING CONDITIONS, ONLY AFTER RECEIPT OF WRITTEN APPROVAL FROM THE ENGINEER. ALL SUCH CHANGES OR OFFSETS SHALL BE INDICATED IN THE "AS-BUILT" DRAWINGS SUBMITTED AT THE END OF THE JOB.
- DUCTWORK SHALL BE CONSTRUCTED ACCORDING TO THE "EQUIPMENT HANDBOOK" PUBLISHED BY ASHRAE AND "HVAC DUCT CONSTRUCTION STANDARDS" PUBLISHED BY SMACNA.
- SHEET METAL GAUGES, TRANSVERSE JOINTS, LONGITUDINAL SEAMS AND INTERMEDIATE REINFORCING MUST BE IN CONFORMANCE WITH SMACNA STANDARDS FOR 6" W.G. AND SEAL CLASS A.
- ALL SUPPLY DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL OF U.S. D. STANDARD SHEET METAL GAUGE UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL JOINTS SHALL BE SEALED AIRTIGHT WITH 3MCC-800. CONNECTIONS TO FAN SHALL BE THRU ACID RESISTANT RUBBER NOT LESS THAN 4" LONG, FUME TIGHT AND SECURELY FASTENED WITH COPPER METAL BANDS.
- ALL CHANGES IN DIRECTION, HORIZONTAL OR VERTICAL, SHALL BE SHAPED TO PERMIT THE EASIEST POSSIBLE AIR FLOW. USING CENTERLINE RADIUS OF 1-1/2' X WIDTH FOR ALL CASES WHERE 90 DEGREE SQUARE ELBOWS ARE USED, APPROVED DOUBLE THICKNESS TURNING VANES SHALL BE USED. HVAC CONTRACTOR SHALL SUBMIT DETAILS FOR APPROVAL.
- ALL DUCTWORK SHALL BE BUILT WITH APPROVED JOINTS AND SEAMS SMOOTH ON THE INSIDE WITH LAPS MADE IN THE DIRECTION OF THE AIR FLOW AND NO FLANGES PROJECTING INTO THE AIR STREAM. OUTSIDE SEAMS AND JOINTS SHALL BE AS NEAR TO AIR TIGHT AS POSSIBLE WITH A NEAT FINISH. THE CONTRACTOR SHALL CAULK ALL JOINTS WHICH ARE NOT MECHANICALLY TIGHT.
- LONGITUDINAL JOINTS SHALL BE PITTSBURGH LOCK AT CORNERS OR ACME LOCK ON FLAT SURFACES DOUBLE SEAMS HAMMERED TIGHT AND SHALL BE LOCATED ABOVE THE HORIZONTAL AXIS OF THE DUCT. A SNAP LOCK SEAM SHALL NOT BE PERMITTED AS A SUBSTITUTE FOR THE PITTSBURGH LOCK AT CORNERS OF DUCTS.
- TRAVERSE JOINTS SHALL BE MADE AIRTIGHT WITH ALL LAPS IN THE DIRECTIONS OF AIR FLOW.
- VOLUME DAMPERS AS SHOWN ON DRAWINGS AND AS REQUIRED FOR PROPER OPERATION SHALL BE INSTALLED IN THE VARIOUS BRANCHES FOR USE IN BALANCING THE SYSTEM. VOLUME DAMPERS SHALL BE OF MULTI-OPPOSED BLADE CONSTRUCTION WITH LOCKING QUADRANTS FOR ALL DUCTS OVER 12" IN DEPTH. MOUNTED OUTSIDE OF THE DUCT IN AN ACCESSIBLE PLACE. VOLUME DAMPERS SHALL BE RUSKIN MODEL MD35 OR APPROVED EQUAL WITH END BEARINGS, STAND OFF FOR INSULATED DUCTWORK AND CONTINUOUS AXLE & LOCKING QUADRANT.
- ALL DUCTWORK SHALL BE INSTALLED AS HIGH AS POSSIBLE TO MAXIMIZE HEADROOM.
- ALL DUCTWORK SHALL BE HUNG FROM THE BUILDING STRUCTURE.
- ALL SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED WITH FIBERGLASS INSULATION WRAP AND VAPOR BARRIER. INSULATION WRAP SHALL MEET THE REQUIREMENTS OF NFPA 90A, WITH FLAME SPREAD, SMOKE DEVELOPMENT, AND FUEL CONTRIBUTED NOT EXCEEDING 25, 50, AND 50 RESPECTIVELY AS TESTED BY PROCEDURE ASTM-84, NFPA 255, AND UL 723 UNLESS OTHERWISE NOTED. INSULATION WRAP SHALL PROVIDE MINIMUM R VALUE OF 6.0 WHEN INSTALLED.

6.0 SUPPORTS

- ALL SUPPORTS AND HANGERS FOR DUCTWORK UNDER THIS CONTRACT SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- ALL HANGERS, SUPPORTS, & HARDWARE SHALL BE GALVANIZED UNLESS OTHERWISE INDICATED.
- WHERE EXCESSIVE LOADING REQUIRES PROPER DISTRIBUTION OF THE WEIGHT, PROPER SUPPORTS MUST BE PROVIDED, SUBJECT TO THE ARCHITECT'S APPROVAL. ALL SUPPORTS SHALL BE OF STRUCTURAL STEEL.

1 DIFFUSER DUCT CONNECTION DETAIL

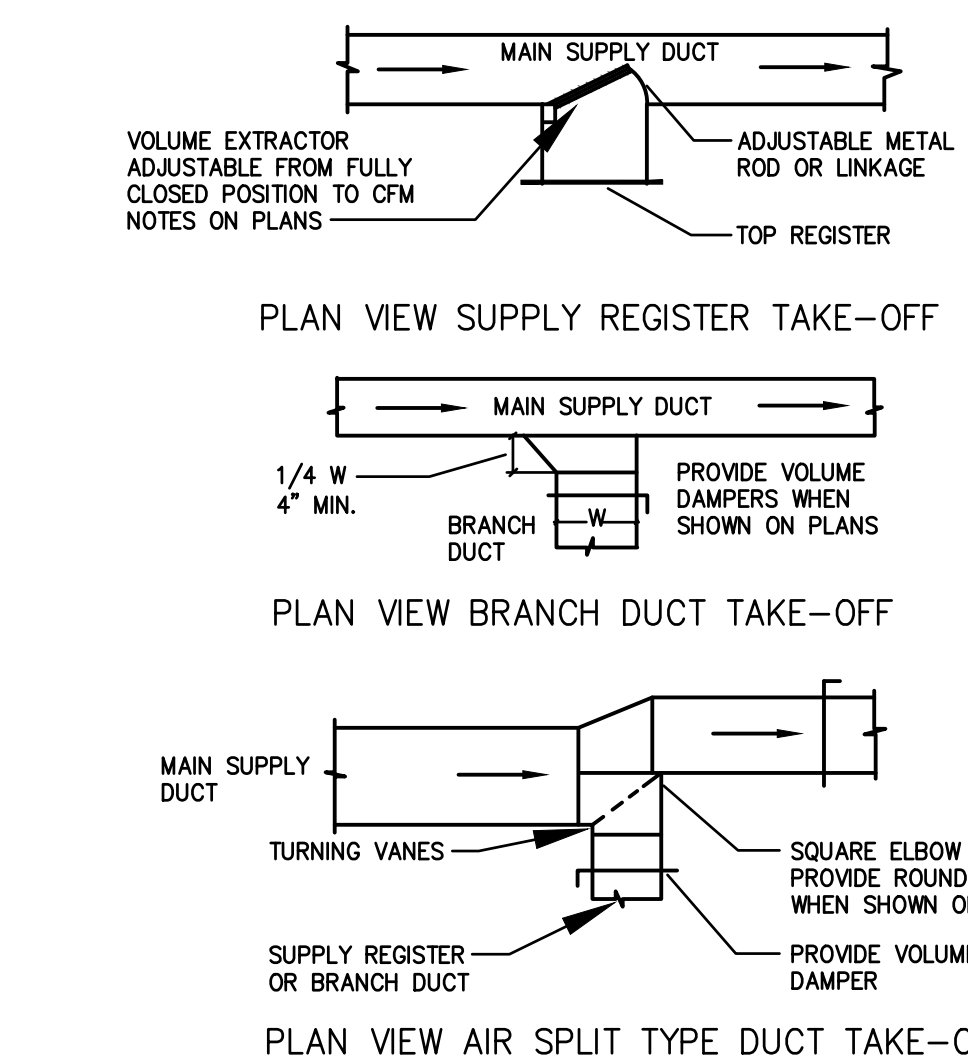
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2 CEILING DIFFUSER TAKE-OFF DETAIL

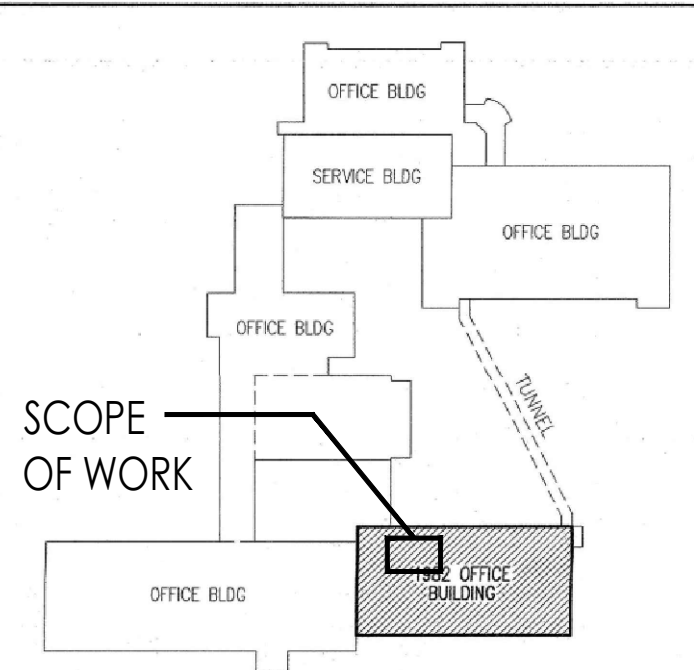
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- NOTES:
1. SIMILAR FOR RETURN & EXHAUST AIR OUTLET. FLEX DUCT IS NOT ACCEPTABLE FOR RETURN OR EXHAUST.



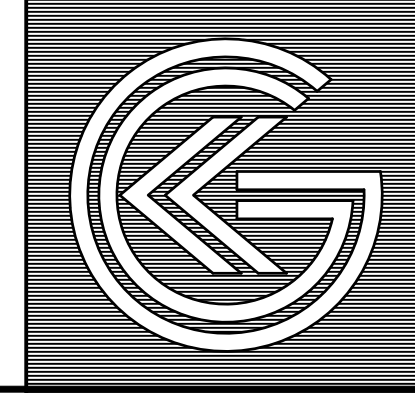
3 SUPPLY DUCT TAKE-OFF DETAIL

H201 NOT TO SCALE



KEY PLAN

NOT TO SCALE



KELTER & GILLIGO
consulting engineers
P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
Professional Engineer
NJ 38656

WILLIAM D. HOPKINS III, AIA, LEED AP
NJ-140708000 PA-4610200A
GEORGE E. DUTHE JR., AIA, PP
NJ-154029700
JASON J. DUBOWITZ, AIA
NJ-154079700 PA-1840000
FVHHD architects
planners
Fraytak Veisz Hopkins Duthe P.C.
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - North Clar - Pennsylvania 19453
Date: 11/18/24

Project Name
Renovations to
Second Floor
Toilet Rooms at
NJM West Trenton
Building A - North

Project Owner Name
New Jersey
Manufacturers
Insurance Company
NJM Project #
WT.C.2024.009

Project Location
301 Sullivan Way,
West Trenton, NJ
08628

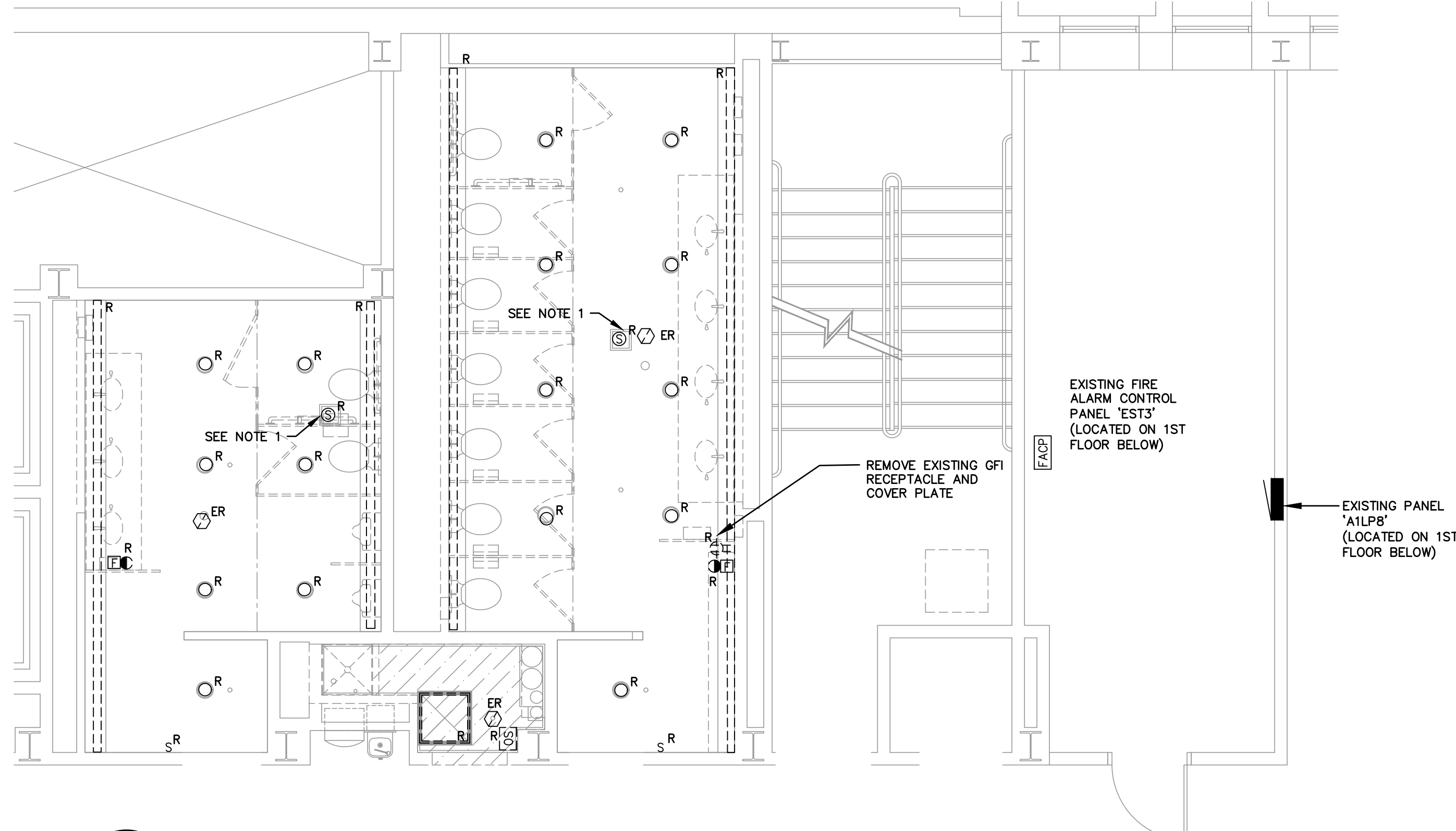
Project Number
5578
Project Date
11.08.2024
Checked By
NML
Drawn By
CL
Scale
AS NOTED

Drawing Name
ABBREVIATION,
DETAILS, SYMBOLS
SCHEDULES &
SPECIFICATIONS
- HVAC

Revisions
No. Date Description

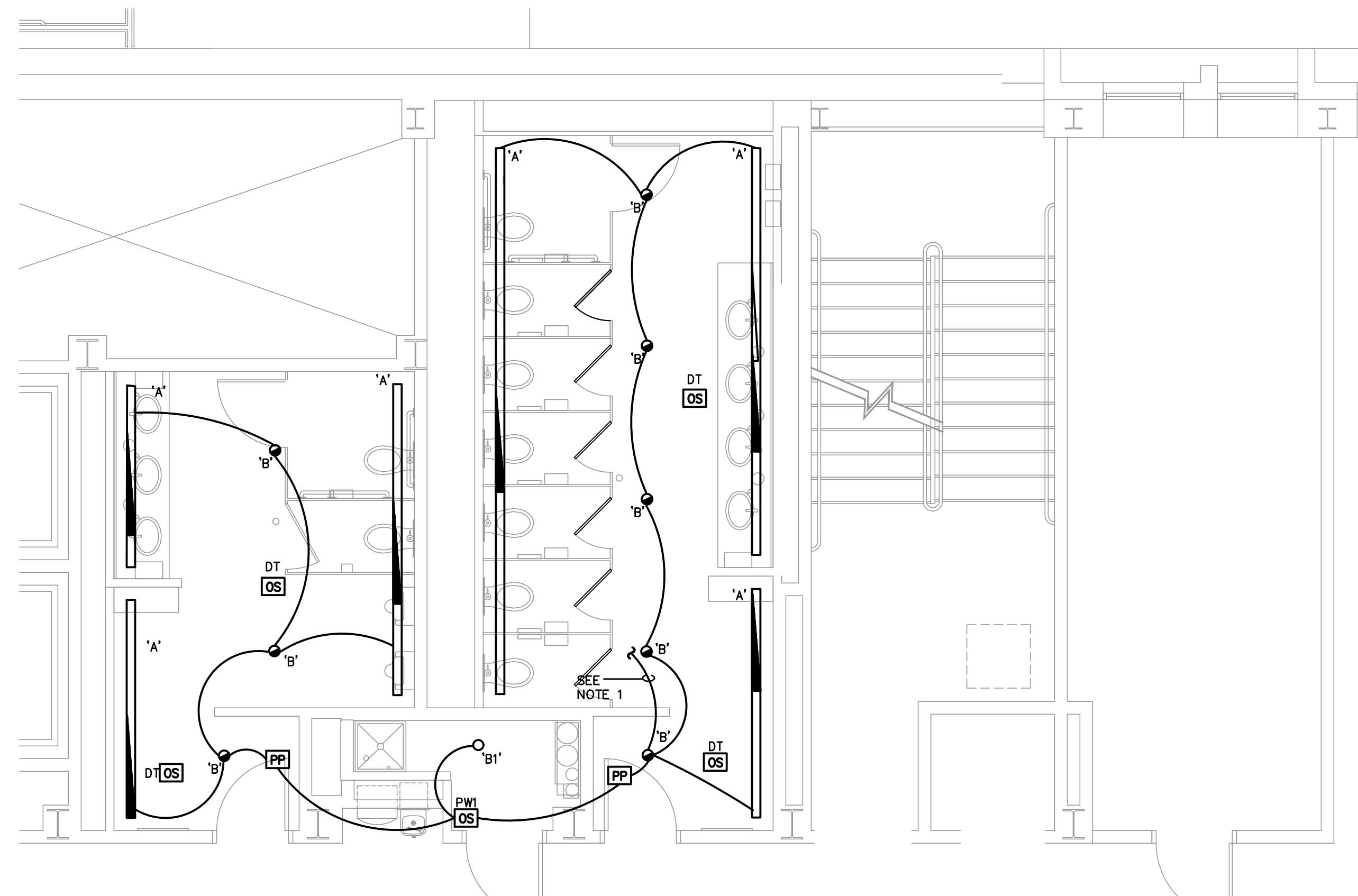
Drawing Number
H201

DRAWING REFERENCE SCALE, VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



1 PARTIAL SECOND FLOOR PLAN – ELECTRICAL DEMOLITION
 SCALE 1/4" = 1'-0"

- NOTES:
- EXISTING SPEAKER TO BE REMOVED. PROVIDE TEMPORARY SUPPORT OF EXISTING WIRES ABOVE CEILING. A NEW SPEAKER SAME AS EXISTING BUT WHITE IN COLOR, WILL BE PLACED BACK IN THE NEW CEILING.



2 PARTIAL SECOND FLOOR – LIGHTING
 SCALE 1/4" = 1'-0"

- NOTES:
- PROVIDE AND CONNECT TO EXISTING LIGHTING CIRCUIT IN AREA, VIA 2 #12 & 1 #12 GRD - 3/4".

DEMOLITION NOTES:

- THESE DEMOLITION PLANS ARE INTENDED TO BE USED AS A GUIDE TO THE CONTRACTOR. ALL DEMOLITION WORK REQUIRED, OR NECESSARY FOR THE INSTALLATION OF NEW WORK OR THE REMOVAL OF EXISTING EQUIPMENT, IS HEREBY INCLUDED, WHETHER SHOWN ON THESE PLANS OR NOT. REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL WORK, AND COORDINATE IN THE FIELD.
- THE CONTRACTOR SHALL VERIFY ACTUAL SITE CONDITIONS PRIOR TO SUBMITTING HIS BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEMS. THE CONTRACTOR SHALL ALSO INCLUDE TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING WORK WHEREVER NECESSARY. THE OWNER SHALL NOT ACCEPT EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.
- THIS CONTRACTOR SHALL REMOVE ALL LIGHTING FIXTURES AND ELECTRICAL DEVICES AS INDICATED ON THE DEMOLITION PLANS, OR THAT ARE NO LONGER NEEDED BY THE OWNER. ALL EXISTING WIRING AND CONDUIT WHERE NO LONGER REQUIRED SHALL BE REMOVED BACK TO EXISTING PANEL. ALL EXISTING DISCONNECTED CIRCUITS NOT BEING USED SHALL BE TURNED OFF AND LABELED "SPARE". WHERE CONDUITS ARE INACCESSIBLE, REMOVE WIRE AND ABANDON CONDUITS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY POWER IS BEING PROVIDED TO ALL EXISTING EQUIPMENT REQUIRED TO REMAIN IN SERVICE. RECONNECT ALL DISTURBED FACILITIES WHICH ARE EXISTING TO REMAIN AND PLACE THEM IN OPERATIONAL CONDITION.
- REMOVE ALL WIRING DEVICES FROM WALLS TO BE DEMOLISHED. REMOVE EXISTING LIGHT SWITCHES WHERE NO LONGER REQUIRED. REUSE ALL EXISTING CONCEALED CONDUIT AND RECESSED DEVICE BOXES WHERE POSSIBLE. ABANDON BOXES IF THEY ARE IN EXISTING WALLS TO REMAIN. PATCH WALLS OVER ABANDONED BOXES TO MATCH ADJACENT SURFACES.
- REMOVE ABANDONED OUTLET BOXES, SURFACE METAL RACEWAY AND CONDUIT THAT WOULD BE EXPOSED, AND REPAIR DISTURBED SURFACES TO MATCH ADJACENT AREAS.
- MAJOR PIECES OF EQUIPMENT ARE TO BE TURNED OVER TO THE OWNER FOR HIS USE, OR AT THE OWNER'S DISCRETION, REMOVED FROM THE SITE AND DISPOSED OF, IF NO LONGER REQUIRED.
- PATCH ALL WALLS TIGHT AT REMOVALS. MAINTAIN FIRE RATINGS AS REQUIRED.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXTENT OF WALL FINISHES AND CEILING TO BE REPLACED. ALL EXISTING DEVICES TO REMAIN SHALL BE TEMPORARILY DISCONNECTED AND REINSTALLED. WHERE TEMPORARY REMOVAL IS NOT POSSIBLE THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OF EXISTING EQUIPMENT IN PLACE.
- THE EXISTING FIRE ALARM SYSTEM SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SUPPORT OF EXISTING DEVICES AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE FIRE MARSHAL UPON ANY MODIFICATIONS TO OR ANY NECESSARY INTERRUPTION IN SYSTEM OPERATION. NOTE THAT COVERING DEVICES DURING CONSTRUCTION IS AN INTERRUPTION TO COVERAGE.

SYMBOL LIST & ABBREVIATIONS

	LIGHT FIXTURE – SEE SCHEDULE
	LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	OCCUPANCY SENSOR – LETTER DENOTES TYPE OF SENSOR TO BE INSTALLED REFER TO AUTOMATIC LIGHTING CONTROL. PROVIDE ALL HARDWARE AND PROGRAMMING AS REQUIRED. ALL OCCUPANCY SENSORS MUST BE NIGHT AIR ENABLED
	DT = RCMS = LOW VOLTAGE CEILING MOUNTED DUAL TECH SENSOR PWI = XXX = LINE VOLTAGE WALL MOUNTED INFRARED WALL SWITCH SENSOR
	POWER PACK TRANSFORMER AND RELAY. OUTPUT RELAYS RATED 20A BALLAST OR INCANDESCENT, PROVIDE QUANTITY OF RELAYS AS REQUIRED, REFER TO AUTOMATIC LIGHTING CONTROL NOTES.
	DUPLX RECEPTACLE, 20A, 125V, 2 POLE, 3 WIRE, GROUNDED D INDICATES DOUBLE DUPLX RECEPTACLE, GFI INDICATES GROUND FAULT INTERRUPTION, IG INDICATES ISOLATED GROUND IG INDICATES ISOLATED GROUND
	DUPLX RECEPTACLE MOUNTED ABOVE COUNTER HEIGHT
	208/120V PANELBOARD
	480/277V PANELBOARD
	MOTOR
	FIRE ALARM, CONTROL PANEL
	FIRE ALARM, SMOKE DETECTOR
	FIRE ALARM, AUDIO/VISUAL (SPEAKER/STROBE) DEVICE
	FIRE ALARM, AUDIO/VISUAL (SPEAKER/STROBE) DEVICE – CEILING MOUNTED (WHITE IN COLOR)
	SPEAKER (WHITE IN COLOR)
	WIRE & CONDUIT, CONCEALED IN CEILING OR WALL
	HOMERUN TO PANEL, NUMERAL INDICATES CIRCUIT NUMBER
	CONNECTION TO EQUIPMENT
	ABOVE FINISHED FLOOR
	EXISTING
	EXISTING TO BE RELOCATED, CAREFULLY REMOVE AND STORE ON SITE. DISCONNECT AND SAFE-OFF ALL WIRING FOR FUTURE EXTENSION TO NEW LOCATION
	EXHAUST FAN
	EXISTING TO BE REMOVED
	RELOCATE EXISTING TO THIS LOCATION, COORDINATE EXACT LOCATION IN FIELD, PROVIDE NEW WIRING TO EXTEND EXISTING WIRING AS REQUIRED, MATCH EXISTING WIRING TYPE AND SIZE

LIGHTING FIXTURE SCHEDULE

ID	LAMPS	MANUFACTURER	CATALOG NUMBER	MOUNTING	DESCRIPTION
A	6W/FT LED 600 LUMEN/FT SPX 35	MARK (OR APPROVED EQUAL)	SL4L-LOP-YFT-FLP-TG-80CRI- 35K-600LM-MINI-277-ETOWLCP -NLTAIR2	RECESSED	4" WIDE FLUSH FIXTURE X LENGTH AS SHOWN ON DRAWINGS, FLUSH LENS, CONSTANT CURRENT DIMMING TO 1%, 277V INPUT, PROVIDE 90 MINUTE BATTERY BACKUP FOR EACH 4" SHADED SECTION AS SHOWN. NIGHT AIR WIRELESS ENABLED
B	19.5W LED 2000 LUMENS SPX 35	LITHONIA (OR APPROVED EQUAL)	EV04 35/20 WR MWD MVOLT EZ1 -NLTAIR2-EL	RECESSED	4" DIAMETER DOWNLIGHT, DIMMING TO 1%, UNIVERSAL 120-277V INPUT, INTEGRAL 90 MINUTE BATTERY BACKUP, NIGHT AIR WIRELESS ENABLED
B1	19.5W LED 2000 LUMENS SPX 35	LITHONIA (OR APPROVED EQUAL)	EV04 35/20 WR MWD MVOLT EZ1 -NLTAIR2	RECESSED	4" DIAMETER DOWNLIGHT, DIMMING TO 1%, UNIVERSAL 120-277V INPUT, NIGHT AIR WIRELESS ENABLED

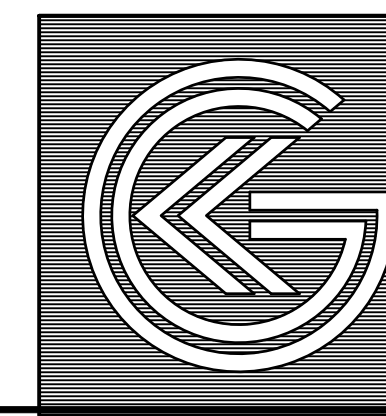
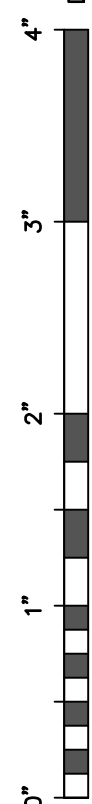
LIGHTING FIXTURE NOTES:

- ALL FIXTURES SHALL COMPLY WITH ASHRAE/IESNA 90.1 2016 LIGHTING EFFICACY STANDARDS FOR NEW COMMERCIAL BUILDINGS.
- CONNECT ALL EXIT SIGNS AHEAD OF ALL SWITCHING AND CONTROLS.
- PROVIDE ALL EMERGENCY LIGHTING CONTROL RELAYS AND LIGHT FIXTURES SPECIFIED WITH EMERGENCY BATTERY BACKUP WITH AN UNSWITCHED PHASE LEG TO MONITOR FOR NORMAL POWER FAILURE.
- VERIFY EXACT LOCATION OF FIXTURES IN FIELD WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.

AUTOMATIC LIGHTING CONTROL NOTES:

- FURNISH AND INSTALL ALL WIRING AND DEVICES AS RECOMMENDED BY THE MANUFACTURER'S WRITTEN INSTRUCTION FOR THE INSTALLATION OF OCCUPANCY SENSORS.
- PROVIDE ALL RELAYS, POWER PACKS AND LOW VOLTAGE WIRING AS REQUIRED.
- VERIFY ALL OCCUPANCY SENSORS TO BE FURNISHED AND INSTALLED WITH LOW VOLTAGE OR LINE VOLTAGE INPUTS.
- THE CONTRACTOR SHALL SET ALL PROGRAMMABLE TIME DELAYS TO A MINIMUM OF 15 MINUTES UNLESS OTHERWISE NOTED. ALL OCCUPANCY SENSORS WITH AN AUTOMATIC SENSITIVITY SETTING SHALL BE SET TO AUTOMATIC UNLESS A REDUCED SENSITIVITY SETTING IS RECOMMENDED BY THE MANUFACTURER OR REQUESTED BY THE OWNER. ALL OCCUPANCY SENSORS WITH A SELECTABLE WALK-THROUGH MODE SHALL BE SET TO THIS MODE.

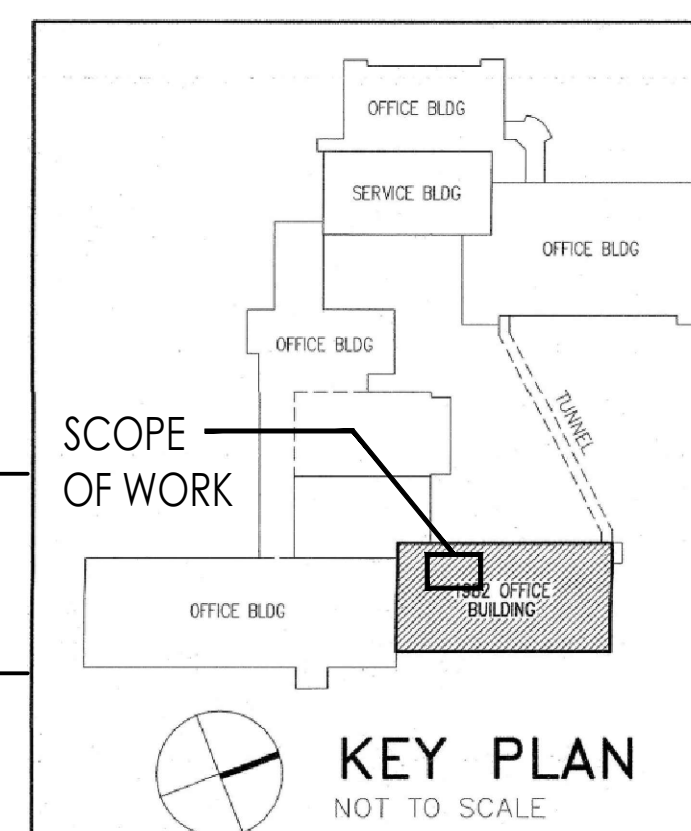
DRAWING REFERENCE SCALE. VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



KELTER & GILLIGO
 consulting engineers

P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
 Professional Engineer
 NJ 38656



WILLIAM D. HOPKINS III, AIA, LEED AP
 N.J. 214207000 PA. 34022520X
 GEORGE R. DUTHIE, JR., AIA, PP
 N.J. 214207900 PA. 34022520X
 JASON J. DUBROWITZ, AIA
 N.J. 214207900 PA. 34022520X
 N.J. 214207900 PA. 34022520X

EFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P.C.

Corporate: 1515 Center Ferry Road, Trenton, New Jersey, 08618
 Pennsylvania: 140 Whiteaker Ave., Abington Grove, Pennsylvania, 19403

F.V.H.D.P.C. : C.O.M

Project Name
**Renovations to
 Second Floor
 Toilet Rooms at
 NJM West Trenton
 Building A - North**

Project Owner Name
**New Jersey
 Manufacturers
 Insurance Company
 NJM Project #
 WT.C.2024.009**

Project Location
**301 Sullivan Way,
 West Trenton, NJ
 08628**

Project Number
5578

Project Date
11.08.2024

Checked By
FT

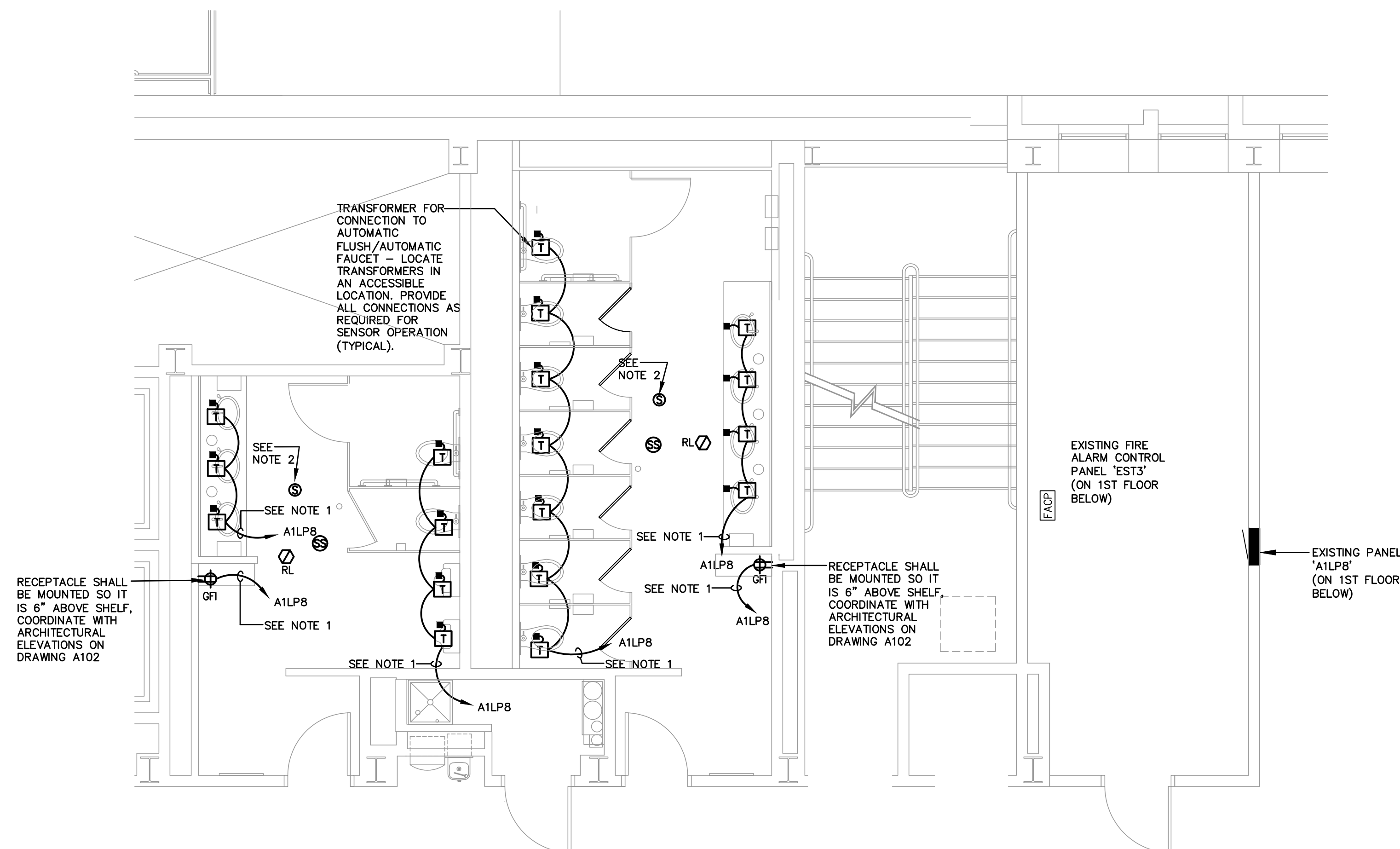
Drawn By
LA

Scale
AS NOTED

Drawing Name
**FLOOR PLANS
 SYMBOL LIST,
 & LIGHTING
 SCHEDULE -
 ELECTRICAL**

Revisions
 No. | Date | Description

Drawing Number
E101

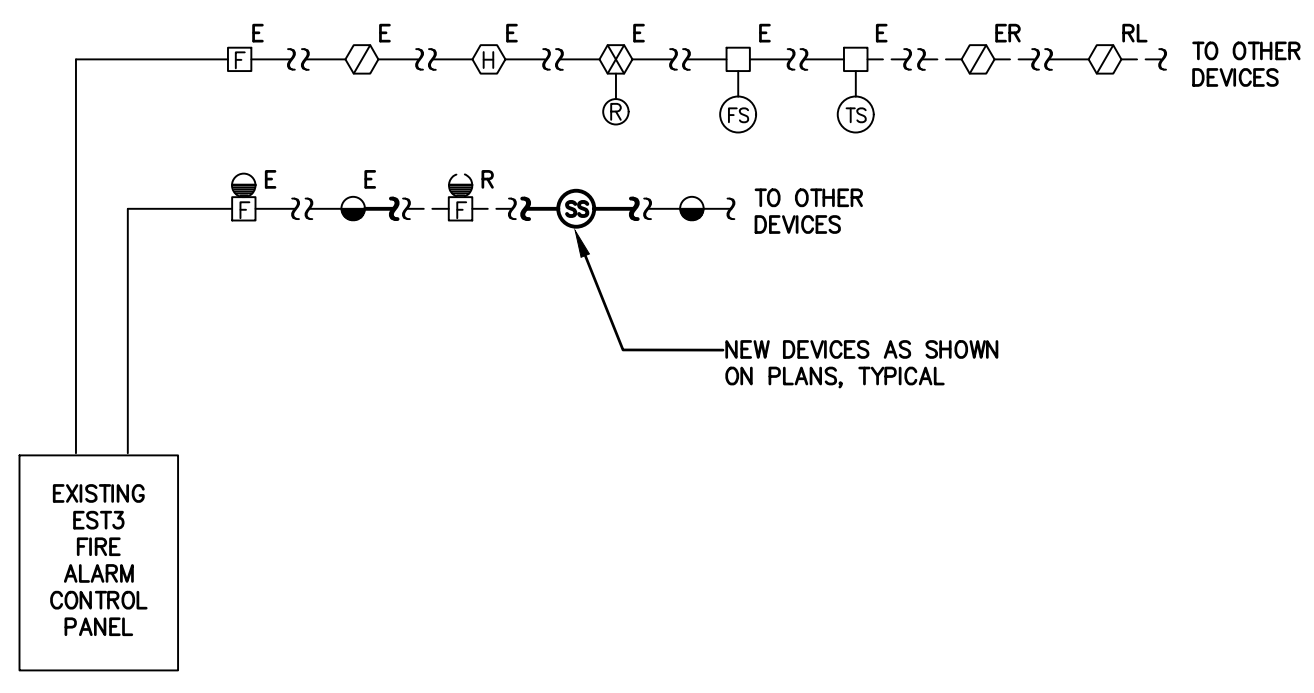


1 PARTIAL SECOND FLOOR - POWER
E102
 SCALE 1/4" = 1'-0"

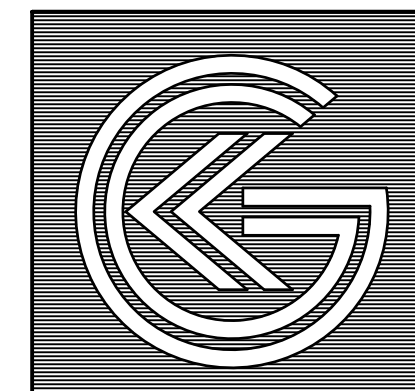
- NOTES:**
1. PROVIDE AND CONNECT TO NEW 20A/1P CIRCUIT BREAKER IN PANELBOARD, CIRCUIT VIA 2 #12 & 1 #12 GRD - 3/4"C.
 2. EXTEND EXISTING WIRING IN KIND TO NEW SPEAKER.

2 FIRE ALARM SYSTEM RISER DIAGRAM
E102
 SCHEMATIC

- FIRE ALARM SYSTEM NOTES:**
1. PROVIDE ALL WIRING AS RECOMMENDED BY MANUFACTURER. ALL WIRING SHALL BE IN CONDUIT. FIRE ALARM LABELED MC CABLE MAY BE USED IN CONCEALED LOCATIONS WHERE PERMITTED BY CODE.
 2. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT FIRE ALARM SYSTEM MODIFICATIONS MEET ALL APPLICABLE CODES AND FOR OBTAINING FINAL APPROVAL FROM LOCAL FIRE INSPECTOR(S).
 3. PRIOR TO STARTING WORK, PREPARE SHOP DRAWINGS INCLUDING ALL INFORMATION REQUIRED UNDER IBC, SECTION 907.1.2. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL. ONCE APPROVED, SUBMIT SHOP DRAWINGS TO CODE REVIEWER/INSPECTOR(S) FOR APPROVAL.
 4. EXPAND EXISTING FIRE ALARM SYSTEM AS REQUIRED TO CONNECT NEW DEVICES. PROVIDE ALL NEW HARDWARE, RELAYS, MODULES, WIRING, BATTERIES, ECT., AS NECESSARY FOR COMPLETE INSTALLATION.
 5. PROVIDE ALL PROGRAMMING BY A FACTORY CERTIFIED VENDOR AS REQUIRED TO MAKE THE NECESSARY MODIFICATION TO THE SYSTEM. INCLUDE ANY HARDWARE, WIRING, OF COMPONENTS NECESSARY FOR CONTINUED REUSE.
 6. PROVIDE AT EACH LOCATION SHOWN, AUDIO/VISUAL DEVICES WITH OUTPUT LEVELS AS RECOMMENDED BY MANUFACTURER FOR THE SPACE TO COMPLY WITH ADA & CODE REQUIREMENTS. PROVIDE ADDITIONAL DEVICES TO THOSE SHOWN IF/AS REQUIRED TO MEET LEVELS AT NO ADDITIONAL COST.
 7. ALL FIRE ALARM CONTROL PANELS, REMOTE ANNUNCIATORS, AND BOOSTER PANELS SHALL HAVE SMOKE DETECTORS COVERAGE ABOVE. PROVIDE DEVICES WHETHER SHOWN ON PLANS OR NOT.
 8. UPON COMPLETION OF FIRE ALARM WORK, PROVIDE A RE-ACCEPTANCE TEST OF THE ENTIRE SYSTEM PER NFPA 72.

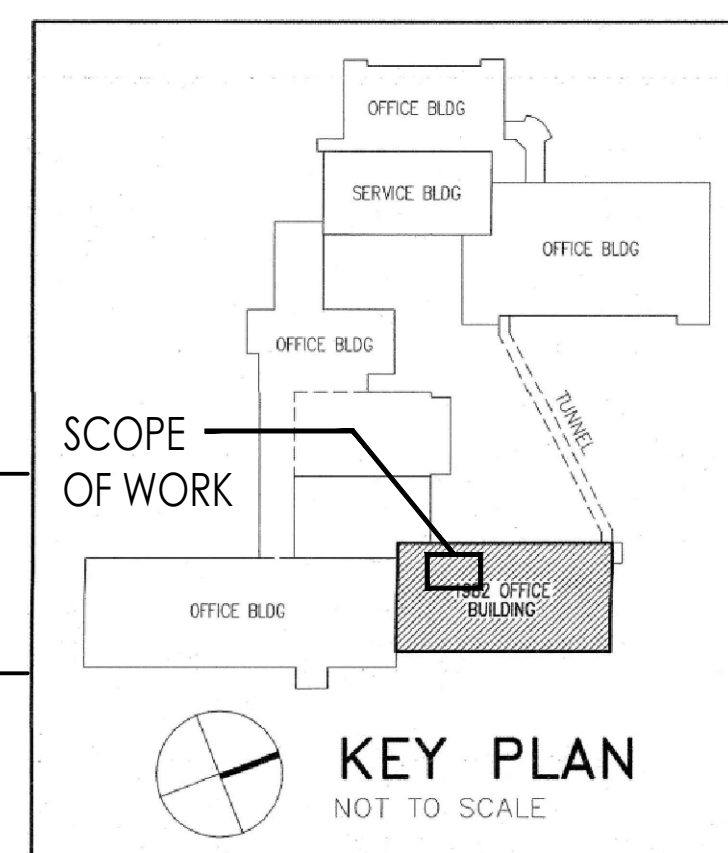


DRAWING REFERENCE SCALE. VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



KELTER & GILLIGO
 consulting engineers
 P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
 Professional Engineer
 NJ 38656



WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ-214070600 | PA-34022526
 GEORGE R. DUTHIE, JR., AIA, PP
 NJ-214612920
 JASON J. DUBOWITZ, AIA
 NJ-214612920 | PA-3404079

FVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C
 Corporate: 1515 Lencer Ferry Road, Trenton, New Jersey, 08618
 Pennsylvania: 140 Whitaker Ave., Abert Glabe, Pennsylvania 19453

F V H D P C . C O M

Project Name
 Renovations to
 Second Floor
 Toilet Rooms at
 NJM West Trenton
 Building A - North

Project Owner Name
 New Jersey
 Manufacturers
 Insurance Company
 NJM Project #
 WT.C.2024.009

Project Location
 301 Sullivan Way,
 West Trenton, NJ
 08628

Project Number
 5578

Project Date
 11.08.2024

Checked By
 FT

Drawn By
 LA

Scale
 AS NOTED

Drawing Name
 FLOOR PLAN
 & FIRE ALARM RISER
 POWER

Revisions	No.	Date	Description

Drawing Number
E102

DRAWING REFERENCE SCALE. VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.

GENERAL REQUIREMENTS

This Section is coordinate with and complementary to the General Conditions and Special Requirements.
Drawings are diagrammatic. Sizes and locations of equipment are shown to scale where possible, but may be distorted for clarity on the Drawings. Final locations shall be as required or directed.
Light and power and system riser diagrams and schematic diagrams generally indicate equipment and connections to be used for various systems. System conduit and wiring shall be as required. Provide all work shown on diagrams whether or not it is duplicated on the plans.

SCOPE OF WORK

In general the work includes, but is not limited to the following:

1. Raceways and installation components.
2. Wire and Cable.
3. Panelboards (modifications)
4. Grounding.
5. Lighting fixtures.
6. Fire alarm system (modifications).
7. Testing.
8. Furnishing of access doors.
9. Furnishing and setting of all sleeves through the floors, roof, and walls where required, including waterproofing, and fireproof sealing, and cap flashing.
10. Cutting, drilling and boring associated with electrical work.
11. Prime painting, where required for electrical equipment and installation.
12. Provisions for temporary light and power.
13. Final connection of all equipment unless otherwise noted.

QUALITY ASSURANCE AND STANDARDS

The complete installation shall be in accordance with NUCC (The State Building Code).
Contractor to be responsible for securing all necessary permits and obtaining all necessary approvals. He shall complete all necessary forms and pay all necessary fees.

SUBMITTALS

The Contractor shall submit shop drawings for all systems and components with such promptness as to cause no delay in his own work or that of another contractor.

EXAMINATION OF EXISTING CONDITIONS ON PREMISES

Before submitting his bid, this Contractor shall visit the site of the work and shall thoroughly familiarize himself with the existing conditions affecting the work. By the act of submitting a bid, the Contractor shall be deemed to have made such an examination, to have accepted such conditions, and to have made allowance therefore in preparing his bid. No additional compensation will be granted on account of extra work made necessary by the Contractor's failure to investigate such existing conditions. Verify all grades, elevations, dimensions, and clearances at the site.

COORDINATION OF WORK WITH OTHER TRADES

The contractor shall coordinate the work of this Section with the work of all other Contracts and all the Utility Companies. It shall be so arranged that there will be no delay in the proper installation and completion of all work.

INSPECTION AND TESTS

The entire wiring system must test free from short and open circuits. Every ground shall be tested for compliance with standards listed below.

PROTECTION, MAINTENANCE AND PRODUCT HANDLING OF ELECTRICAL EQUIPMENT

Electrical equipment shall be delivered and stored at the site, properly packed and crated until finally installed.

Provide effective protection against damage for all material and equipment during shipment and storage at the Project Site.

This Contractor shall be responsible for the maintenance of all installed equipment and systems until final acceptance by the Owner.

QUARANTEE

This Contractor shall guarantee in writing to the Owner that all work installed by him shall be free of defects in workmanship and materials and that all apparatus will develop the capacities and characteristics as indicated, and that, if during a period of one year from date of final approval of work by the Architect, any defects in workmanship, materials or performance appear, he will remedy them without any cost to the Owner.

ACCESSIBILITY AND MEASUREMENTS

All work shall be installed so as to be readily accessible for operation, maintenance, and repair. Minor deviations from the plans may be made to accomplish this, subject to approval.

Before ordering any material or doing any work, the Contractor shall verify all measurements at the Building, and shall be responsible for the correctness of same as related to the work under this Contract.

TEMPORARY LIGHT AND POWER

Electric services for temporary light and power shall be obtained from existing and extended as required.

The Electrical Contractor shall furnish, install, and maintain the temporary lighting and power system for all Contractors. Provide temporary power for all construction trailers or as directed. The use of electricity shall be kept to a minimum.

The General Contractor will pay for all energy required by the temporary lighting and power system.

Provide all wiring, supports, lamp sockets, receptacle sockets and any other materials, supplies or equipment necessary for temporary light and power system.

Ground fault protection required by OSHA.

Install separate stringer circuits for lighting and receptacles. Provide one lamp socket and one duplex receptacle for every 400 square feet of general construction area. (Approximately 20 feet on centers).

Provide sufficient supplementary temporary lighting to permit proper execution of the work.

Keep the temporary lighting and power system operational commencing fifteen (15) minutes before the established starting time of that trade which starts work earliest in the morning and ending fifteen (15) minutes after the established quitting time of that trade which stops work latest in the evening.

IDENTIFICATION NAMEPLATES

Identify and mark all electrical equipment to meet OSHA standards and as specified herein.
Unless otherwise noted, nameplates shall be black laminate with white letters of uniform size consisting of reasonably large capital letters, 3/16 inch minimum.

RACEWAYS AND INSTALLATION COMPONENTS

The requirements of this Section apply to raceway work specified elsewhere in these specifications.

The work includes the providing of completely coordinated grounded raceway systems complete with boxes, fittings, flexible connections to vibrating equipment and accessories, as specified and as required for a complete system.

The work permits the use of metal-clad cable in conjunction with conduit. See below.

Raceways and fittings shall be manufactured by Triangle or approved equal by Allied or Republic.

Rigid steel conduit shall be full weight steel pipe, hot dip galvanized inside and outside, threaded, minimum 3/4 inch.

Intermediate metal conduit (MC) shall be intermediate steel pipe, hot dip galvanized, threaded, minimum 3/4 inch.

Electric metallic tubing (EMT) shall be steel thin wall pipe, galvanized, threadless, minimum 3/4 inch, maximum 2 inch.

Flexible steel conduit (Greenfield) shall be continuous single strip, galvanized, minimum 3/4 inch.

Liquid-tight flexible steel conduit (Seal-tite) shall be zinc coated, consist of flexible galvanized steel tubing over which is extruded a liquid-tight sheathing of polyvinyl chloride (PVC). Conduit shall be provided with a continuous copper bonding conductor wound spirally between the convolutions.

Rigid steel and IMC conduit fittings shall be standard threaded couplings, locknuts, bushings, and elbows. Material shall be steel or malleable iron only.

Electrical metallic tubing fittings shall be compression waterproof connection type. Set screw or indent type connectors are not permitted.

Flexible steel conduit (Greenfield) fittings shall be multiple point type, threading into the internal wall of the conduit convolutions, and shall have insulated throat.

Liquid-tight flexible metal conduit fittings shall incorporate a threaded grounding cone, a steel or plastic compression ring, and a gland for tightening. Connectors shall have insulated throats.

Expansion and deflection couplings shall be manufactured by O-Z/Gedney, Crouse-Hinds, Appleton or approved equal.

Individual conduit hangers, shall be designed for the purpose, and have pre-assembled closure bolt and nut, and provisions for receiving hanger rod.

Multiple conduit (trapeze) hangers shall be not less than 1-1/2 by 1-1/2 inch, 12 gauge steel, cold formed, lipped channels. Hanger rods shall be not less than 3/8-inch diameter steel.

Solid masonry and concrete anchors shall be a type approved for the purpose.

Provide and assume responsibility for locating and maintaining in proper position all sleeves required for the work.

Openings through floors and walls in which cables, conduits, or pipe pass shall be sealed by U.L. classified smoke and fire stop fittings, and have an hourly rating equal to the fire rating of the floor or wall. Fittings shall be similar to O-Z/Gedney Type "CFS" or "CAFSS".

Penetrations through fire-rated floors in which wiring for floor service outlets are routed shall be sealed by U.L. classified smoke and fire-stop fittings, and shall have an hourly rating equal to the floor rating. Fittings shall be similar to O-Z/Gedney Type "PIFS".

Outlet boxes shall be manufactured by Raco, RussellStall, Steel City, Thomas & Betts or Crouse Hinds.

Outlet boxes for concealed work shall be galvanized steel, 4 in. square or octagon (except as otherwise required by construction, devices or wiring). Provide sufficient depth for application.

Outlet boxes located outdoors and in damp locations shall be weatherproof.

Offset back-to-back outlets shall have minimum 6 in. separation between them. In rated walls, they are to be separated by a stud.

Junction, splice and pull boxes shall be made of code gauge sheet steel with removable covers fastened with brass or stainless steel screws, except as noted, and will include insulated supports for cables. Box dimensions shall conform to N.E.C. requirements.

Provide junction, splice and/or pull boxes as noted or as required to facilitate pulling of conductors or in raceway runs that have more than three (3) 90-degree bends.

For indoor applications, boxes shall have a gray enamel finish. For outdoor and damp locations, boxes shall be galvanized.

Install raceway and installation components as indicated, in accordance with manufacturer's written instructions, applicable requirements of NEC and in accordance with the recognized industry practices, to ensure that products serve intended function.

Raceway supports shall be provided by means of ceiling trapeze, strap hangers, or wall brackets. Use structural steel angles or channels, or manufactured steel support system. Spacing of supports shall be as per NEC and per manufacturer's recommendations but in no case shall exceed 8'-0" on centers. Provide U-bolts at each floor level for riser raceways and anchor to acceptable supports. Secure raceways to supports with pipe straps or U-bolts.

Mechanically join all metal raceways, enclosures and junction boxes to assure continuity.

Branch circuit conduits shall be supported by the building structure.

Conduits located underground beyond the building for branch wiring shall be installed with a minimum of 30 in. top cover as shown on the drawings.

Provide expansion-deflection fittings at expansion joints in accordance with manufacturer's recommendations. Expansion-deflection fittings shall be used for all trade sizes 1-1/4" or larger. For trade sizes up to 1" in size, a suitable length of flexible conduit (or liquid-tight flexible conduit) with sufficient slack for movement and grounding conductor fastened on each side of joint shall be permitted.

Rigid steel conduit shall be used for underground installation; in wet, damp or wash down locations; for exposed runs on the exterior of the building; embedded in concrete or masonry or below concrete that is in contact with earth.

Intermediate metal conduit (MC) may be used in place of rigid steel in dry locations only.

EMT is to be used for feeders and branch circuits in dry locations such as hung ceilings, interior hollow block walls and furred spaces.

Flexible steel conduit shall be used in dry locations for short connections where rigid conduits or tubing is impracticable, and for final connections to lights and equipment other than motors and transformers.

Liquid-tight flexible steel conduit shall be used in damp locations for final connections to motor terminal boxes, transformers, and other vibrating equipment in damp and dry locations.

In general, cutting and core drilling is to be avoided. Where it becomes necessary, locations are to be coordinated with other trades, the Owner and the structural engineer. There is to be no cutting or core drilling without prior approval.

Provide an outlet box for each lighting fixture and device shown, or required, in the wiring system.

Provide galvanized steel extension rings (depth as required) and raised cover plates in plaster, dry wall, masonry and tile walls.

Mount outlet boxes for similar equipment at uniform height within same or similar areas.

Outlet boxes for fixtures recessed in non-accessible ceilings shall be accessible through the opening created by the removal of the fixture or through access doors provided by this contractor.

All outlet boxes in finished areas for convenience receptacles or local switches shall be 4" square and 1-5/8" deep minimum. Provide with regular deep switch extension cover.

Boxes for use with surface mounted raceways shall be of the same construction and manufacture as the raceway.

Provide junction, splice and pull boxes where required to facilitate installation of wiring, whether or not shown on Drawings. Size boxes according to code, and provide interior partitions, insulated supports, hot dip galvanized angle iron braces, screw-on one-piece or split covers, ground connectors, and other accessories as required.

All outdoor installations shall be weatherproof.

Support all material from the building structure in an approved manner.

Where electrical equipment is mounted in suspended ceiling panels, provide support members to span between runners of ceiling suspension system. Do not support electrical equipment from acoustical panels or other ceiling material; attach to this material for alignment only.

Where electrical outlet boxes, lighting fixtures, and other equipment is installed on tee bars of suspended ceilings, use independent support clips with threaded studs. Do not attach to tee bar except for alignment; use clip similar to Caddy "IDS" that snaps around tee bar and has provisions for independent support wire. Attach a suitable anchor in the structure above ceiling, and suspend a minimum No. 12 support wire to engage the clip.

Do not exceed manufacturer's load rating for mounting devices.

At drywall partitions, provide support members to carry weight of equipment; do not use drywall material to carry any weight.

WIRE AND CABLE

The work includes providing wire and cable complete with all accessories in accordance with Drawings and Specifications and as required for a complete system. Wiring size referenced in this Section shall be AWG, except as noted.

This project has been designed for copper conductors. Aluminum conductors are not acceptable and shall not be used. Cable shall be manufactured by Triangle or approved equal by Carol or Guardian Products.

No. 10 and smaller conductors shall be ASTM Standard, solid, copper; and, No. 8 and larger conductors shall be ASTM standard, stranded copper.

Minimum conductor size shall be No. 12 for lighting and power and No. 14 for control and alarm. Increase wire sizes as required for long runs to overcome voltage drop.

Communications and signal wiring shall conform to the recommendations of the manufacturer's communication and signal systems and shall be specified in respective Sections of these Specifications.

"THWN" or "XHHW" insulation shall be used for interior branch circuit and feeder wiring. Rating shall be 90°C in dry locations and 75°C in wet locations.

Green colored insulated wire shall be used for all grounding applications.

Phase wires shall be color-coded as follows:

1. 120/208 volt system: Black for A phase
Red for B Phase
Blue for C Phase
2. 277/480 volt system: Brown for A phase
Yellow for B phase
Orange for C phase

Neutral conductors shall be white for 120/208 volts and white with gray stripe for 277/480 volts.

Provide O-Z/Gedney Type "CSB" series or approved equal seal fittings between the wire and conduit for all cable and wire entering the building from underground, including service cables.

Not more than 3 current carrying conductors shall be in one (1) conduit unless otherwise indicated. Provide one neutral conductor for each 3 phase 4 wire homerun to a panelboard unless otherwise noted.

Provide separate raceways for conductors of 120/208 and 277/480 volt systems, except 480 volt motor branch circuit wiring and related 120 volt control wiring may be installed in common raceway. MC cable shall comply with the NEC article 330. MC cable shall be as manufactured by AFC or approved equal by Guardian Products.

MC cable shall include a green insulated ground wire of the same size as the other conductors.

Run MC cable in dry hollow metal partitions and above suspended ceilings. Install cable as slack span; do not pull tight. Maintain at least 6" clearance between parallel runs of light and power wiring to avoid inductive coupling. Maintain at least 24" clearance from hot water and steam piping. Provide conduit sleeves through walls and partitions that obstruct horizontal passage of wiring, and seal sleeves after installation of cables. Cable shall be secured by approved staples, hangers or similar fittings independent of ceiling grids or supports.

MC cable shall be used in conjunction with conduit. Cable shall only be permitted for single phase circuits in hollow metal walls and above accessible ceilings. Single phase cable runs shall be gathered into three phase conduit homeruns. In no case shall cable enter directly into panelboards.

Secure MC cable to ceiling structure at intervals not to exceed 6 feet and within 12 inches of every outlet box, junction box, or fitting.

Make wire splices electrically and mechanically secure. Install small wire connectors so that no bare conductor is exposed. Tighten bolts on large conductor connectors so that conductor is deformed, but do not break strands of wire. Use compression tool with proper die for compression connectors in accordance with manufacturer's recommendations, so that conductors are deformed but not broken. Apply insulation over splice so that insulation thickness is at least 1-1/2 times that on conductor. Lap applied insulation at least 1" over conductor insulation so that no bare conductor is exposed.

In general, all feeders No. 8 and larger shall be continuous from point of origin to equipment being served. Splices shall only be used where necessary and with prior written approval of the Engineer.

Terminate conductors on terminal strips in equipment where terminal strips are used. Provide appropriate connectors, or hook conductors around terminal screws as required.

Provide encapsulated splice kits (3-M type 85 series or approved equal) for all splices in areas subject to moisture, including wet locations inside buildings and underground handholes, manholes, and buried junction boxes. Install splice kit in accordance with manufacturer's recommendations, and make splice waterproof. Apply sealing putty to surround each cable. Install mold body so that resin covers each cable sheath by a minimum of one inch.

All copper conductors No. 8 & larger shall be terminated, spliced, and tapped with color-keyed compression connectors, as manufactured by Thomas & Betts Co., Series 84000, Ideal Industries Series 87000, or approved equal. The manufacturer's recommended tooling shall be used. Mechanical type connectors shall not be used.

All copper conductors No. 10 AWG & smaller shall be terminated and spliced with Ideal Industries wing-nut wire connectors or approved equal compression connectors. The flame-retardant thermoplastic insulated type shall be used to isolate the terminal from other metal parts and equipment.

Use insulating boots supplied for compression connectors or fill joint with "Scotchfill" insulating putty and serve (3) 1/2 lap layers of "Scotch" #33 electrical tape.

PANELBOARDS (modifications)

The interior distribution system, in general, shall consist of 3-phase, 4-wire mains at 277/480 volts and 120/208 volts. The contractor shall balance the load on all feeders as nearly as possible on the three phases after the system is fully energized and all components are functioning.

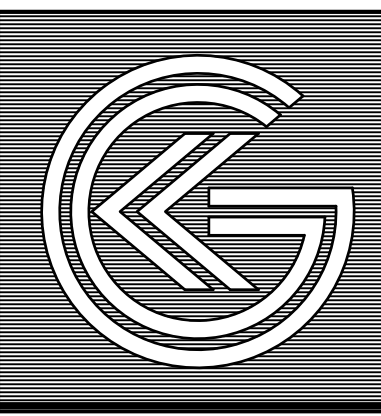
Panelboards and distribution panels shall be General Electric "A" Series and CCB or approved equal by Square D, Cutler Hammer, or Siemens.

Panel circuit breaker overcurrent protective devices shall be as scheduled on the Drawings and as specified. All breakers shall be bolted-on thermal magnetic type.

Panel circuit breakers shall be rated for 10,000 RMS symmetrical amperes minimum interrupting rating at 120/208 volts and for 14,000 RMS symmetrical amperes minimum interrupting rating at 277/480 volts. Provide higher ratings as required or as scheduled on the Drawings.

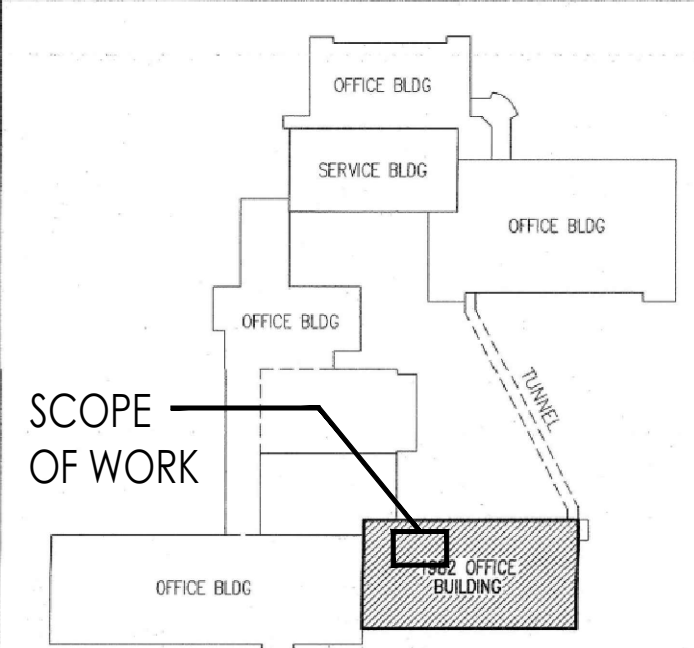
Provide handle-locking attachments for all circuit breakers serving emergency lights, exit lights, clocks, and other functions indicated.

Furnish and install a typewritten circuit directory. Hand written will not be accepted.



KELTER & GILLIGO
consulting engineers
P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
Professional Engineer
NJ 38656



WILLIAM D. HOPKINS III, AIA, LEED AP
NJ 274078000 | PA 840225204
GEORGE R. DUTHIE, JR., AIA, PP
NJ 274419200
JASON J. DUBOWITZ, AIA
NJ 274419700 | PA 8440079

GFVHD architects
planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Gener Ferry Road, Trenton, New Jersey 08618
Philadelphia: 140 Whittaker Ave., Mount Airy - Philadelphia 19143

DATE: 11/16/24
ADDRESS: F.V.H.D.P.C. - C.O.M.

Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
New Jersey Manufacturers Insurance Company NJM Project # WT.C.2024.009

Project Location
301 Sullivan Way, West Trenton, NJ 08628

Project Number
5578

Project Date
11.08.2024

Checked By
FT

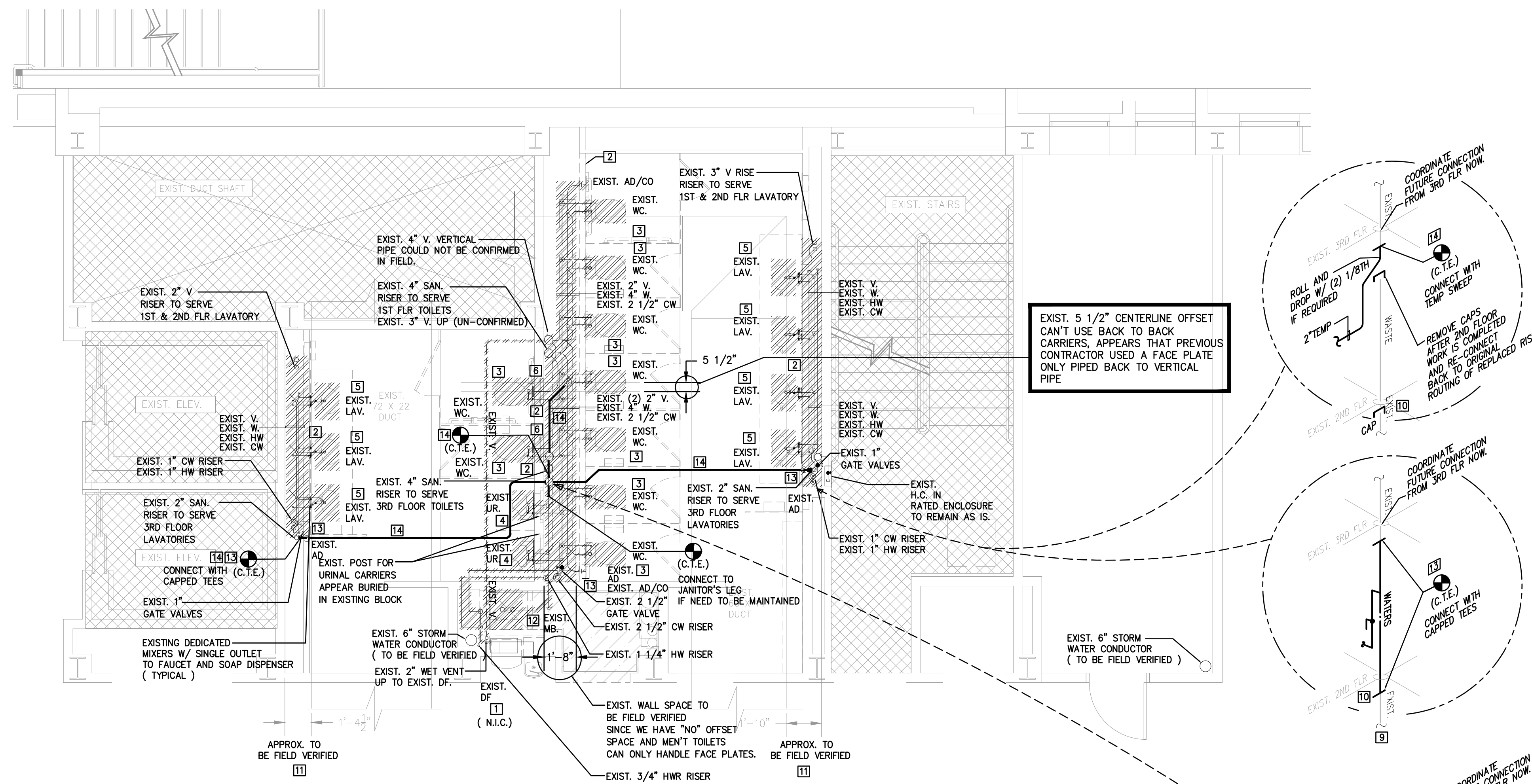
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Scale
AS NOTED

Drawing Name
SPECIFICATIONS - ELECTRICAL

Drawing Number
E103

Revisions	No.	Date	Description



2 PARTIAL SECOND FLOOR PLAN - PLUMBING DEMOLITION
 PD100 SCALE 1/4" = 1'-0"

DEMOLITION PHASING NOTES

CONTRACTOR SHALL RELAY ON THE "BUILDING MANAGEMENT STAFF" FOR PHASING THE SCOPE OF WORK.

ALL WORK TO BE PERFORMED SO THAT 3rd and 1st FLOOR TOILETS ROOMS CAN BE RETURNED TO OPERATION AT THE START OF NJM WORK DAY. CONTRACTOR TO ENSURE SEQUENCE OF CONSTRUCTION + WORK IS FULLY DOCUMENTED.

PRESSURE TESTING, FLUSHING AND DISINFECTING SHALL BE INCLUDED IN SCHEDULE BEFORE COMPLETION AND RE-INSTALLATION OF PROPOSED NEW PIPING.

REMOVALS OF EXISTING PIPING THAT SERVES THE EXISTING 3rd AND 1st FLOOR FIXTURES SHALL TAKE PRIORITY TO MINIMIZE SHUT DOWN AND DISPLACEMENT OF THE UPPER LEVEL TOILETS NOT IN SCOPE OF WORK.

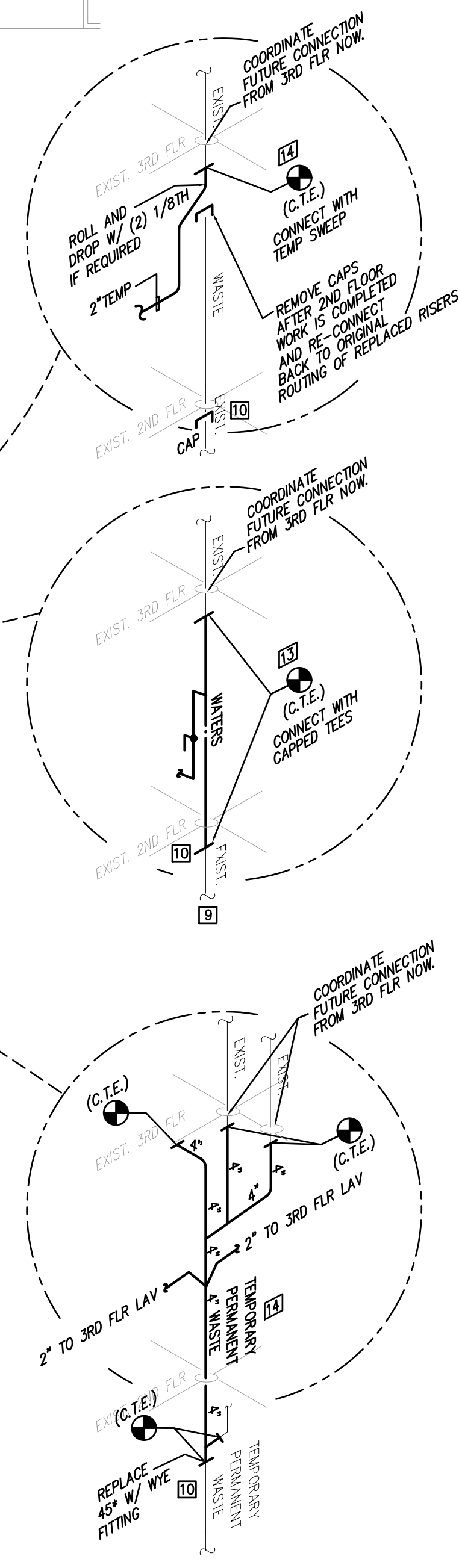
IT IS THE INTENT OF "NJM" TO REPLACE AS MUCH OF THE EXISTING PIPING MATERIAL AS POSSIBLE DURING THE COURSE OF THE WORK.

DEMOLITION NOTES

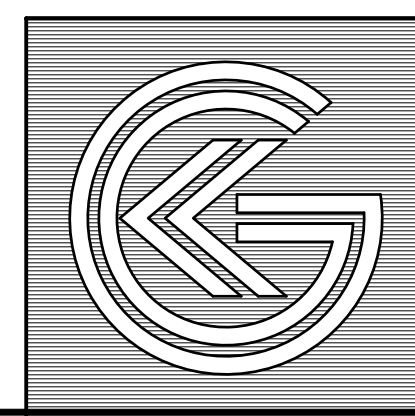
- REMOVE EXISTING FIXTURES AND PLUMBING ACCESSORIES AS INDICATED. CLEAN FIXTURES RETURN REUSABLE FIXTURES TO OWNER. (NJM TO DETERMINE WHAT IS TO BE SALVAGED AND REUSED)
- INFORMATION CONCERNING EXISTING SYSTEMS OR EQUIPMENT HAS BEEN TAKEN FROM EXISTING DESIGN DRAWINGS, NO SHOPS DRAWINGS ARE AVAILABLE.
- THE CONTRACTOR SHALL VISIT AND VERIFY ACTUAL SITE CONDITIONS PRIOR TO SUBMITTING HIS BID, ANY DISCREPANCIES SHALL BE OUTLINED IN WRITING FOR RESOLUTION.
- CUTTING EXISTING PIPES GOING INTO EXISTING 3rd FLR SLAB, LEAVE ENOUGH EXCESS TO ALLOW FOR A PHYSICAL CONNECTION. (CONSIDERATION TO GO INTO THE EXISTING 3rd FLR SPACE WITH NEW PIPES TO AVOID CEILING WORK IN THE FUTURE SHALL BE ENTERTAINED)
- CONTRACTOR SHALL DOCUMENT ALL EXISTING CONDITIONS FOR THE OWNER IN A REPORT/PICTURES AND SUBMIT IT FOR REVIEW PRIOR TO ALL DEMOLITION COMMENCING .
- REFER TO BUILDING MANAGEMENT STAFF AND ARCHITECTURAL SCHEDULE FOR PHASING OF DEMOLITION AND REMOVALS.
- SEAL ALL PENETRATION NOT TO BE RE-USED AFTER PIPE REMOVAL AS REQUIRED BY THE LOCAL BUILDING CODES PERTAINING TO HOURS IN RATING AND/OR SEPARATION.

KEY DEMOLITION NOTES:

- EXISTING FIXTURE TO REMAIN AS IS
- AFTER REMOVAL OF EXISTING BLOCK WALLS, CAREFULLY DOCUMENT THE EXISTING FACE PLATE INSTALLATION TO BE MIMICKED IN PROPOSED NEW LAYOUT.
- DISCONNECT AND REMOVE EXISTING WALL HUNG WATER CLOSET, CAP EXISTING WASTE AND EXISTING WATER FLUSH WITH EXISTING BLOCK WALL. REMOVE EXISTING CARRIER/EXISTING WASTE, EXISTING VENT AND EXISTING WATER PIPING IN EXISTING PIPE SPACE AFTER EXISTING WALL DEMOLITION IS COMPLETE. PHASING OF THE VERTICAL WASTE, VENT AND WATERS TO BE COORDINATED WITH BUILDING STAFF FOR REMOVAL AND \ REPLACEMENT IN KIND.
- DISCONNECT AND REMOVE EXISTING WALL HUNG URINAL , CAP EXISTING WASTE AND EXISTING WATER FLUSH WITH EXISTING BLOCK WALL. (EXISTING POST FOR WALL HANGERS IN BURIED IN THE EXISTING BLOCK WALL AND WILL NEED TO REMAIN IN PLACE, NEW FIXTURE SHALL BE HUNG FROM EXISTING HANGERS)
- DISCONNECT AND REMOVE EXISTING COUNTER MOUNTED LAVATORY, CAP EXISTING WASTE AND EXISTING WATER FLUSH WITH EXISTING BLOCK WALL. REMOVE EXISTING WASTE, EXISTING VENT AND EXISTING WATER PIPING IN EXISTING PIPE SPACE AFTER EXISTING WALL DEMOLITION IS COMPLETE. PHASED REMOVAL OF THE EXISTING VERTICAL WASTE, VENT AND WATERS TO BE COORDINATED WITH BUILDING STAFF FOR REMOVAL AND \ REPLACEMENT IN KIND.
- EXIST. FACEPLATE W/ ADAPTOR TO BE FIELD VERIFIED PRIOR TO ORDERING NEW PIPING & FIXTURES TO MIMIC EXISTING INSTALLATION.
- FIELD INVESTIGATE AND LOCATE ALL EXISTING 2ND FLOOR PIPING SERVING THE THIRD FLOOR DURING DEMOLITION PHASE.
- FIELD INVESTIGATE AND LOCATE EXACT ROUTING OF HOT WATER RETURN TO SERVE 3RD FLOOR END OF RUN.
- SHUT OFF EXISTING WATER VALVES IN ORDER TO REPLACE THE EXISTING VERTICAL 3" COLD WATER FEED SERVING THE 1ST, 2ND & 3RD FLOOR REST ROOMS.
- CONNECT AND/OR CAP PIPING IN 1ST FLR CEILING AS REQUIRED.
- FIELD INVESTIGATE AND LOCATE ALL EXISTING 2ND FLOOR HVAC DUCT WORK DURING DEMOLITION PHASE.
- DISCONNECT AND REMOVE EXISTING FLOOR MOUNTED MOP BASIN, CAP EXISTING WASTE AND EXISTING WATER FLUSH WITH EXISTING BLOCK WALL. REMOVE EXISTING WASTE, EXISTING VENT AND EXISTING WATER PIPING IN EXISTING PIPE SPACE AFTER EXISTING WALL DEMOLITION IS COMPLETE.
- PROVIDE AND INSTALL REPLACEMENT OF EXISTING COLD AND HOT WATER FEED & VALVES TO KEEP THE EXISTING 3RD FLOOR WATERS OPERATIONAL DURING THE SCOPE OF WORK. PERFORM FLUSHING AND DESINFECTING, PRESSURE TESTING AND ROUGHING INSPECTION IN A SINGLE NIGH SCHEDULE TO MAINTAIN THE REST OF THE BUILDING OPERATIONAL DURING THE DAY.
- PROVIDE AND INSTALL TEMPORARY SANITARY PIPING TO KEEP THE EXISTING 3RD FLOOR WATERS OPERATIONAL DURING THE SCOPE OF WORK. REMOVE AND CAP AFTER THE 1ST. FLOOR ARE COMPLETED. (APPROX MOUNTING HEIGHT TO BE 7'-0" BELOW PROPOSED NEW CEILING W/ SUPPORTS AND/OR POST)

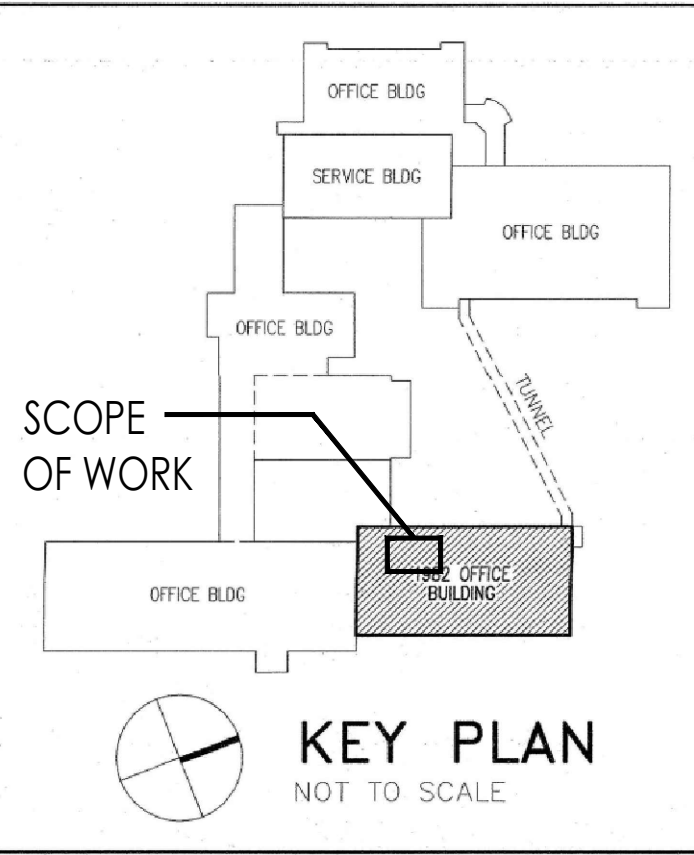


DRAWING REFERENCE SCALE, VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



KELTER & GILLIGO
 consulting engineers
 P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
 Professional Engineer
 NJ 38656



WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ 34008000 PA 4616250A
 GEORGE E. DUTHE JR., AIA, PP
 NJ 34002900
 JASON J. DUBOWITZ, AIA
 NJ 3400978001 PA 846009
 GZ Architects
 Architect
 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave - North Clarke - Pennsylvania 19453

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthe P.C.
 Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave - North Clarke - Pennsylvania 19453

Project Name
 Renovations to
 Second Floor
 Toilet Rooms at
 NJM West Trenton
 Building A - North

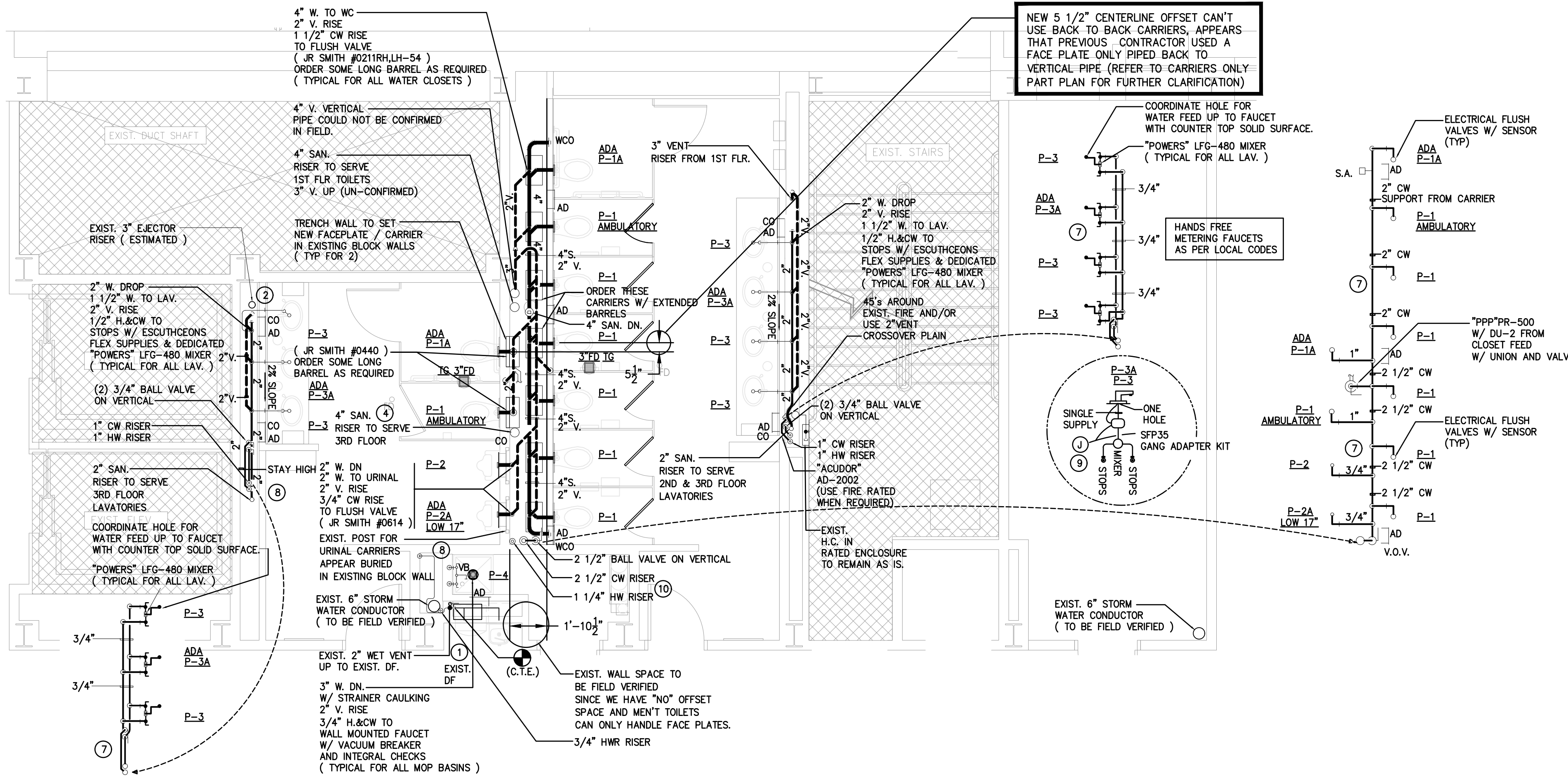
Project Owner Name
 New Jersey
 Manufacturers
 Insurance Company
 NJM Project #
 WT.C.2024.009

Project Location
 301 Sullivan Way,
 West Trenton, NJ
 08628

Project Number
 5578
 Project Date
 11.08.2024
 Checked By
 FT
 Drawn By
 LA
 Scale
 AS NOTED

Drawing Name
 SECOND FLOOR
 PART PLAN
 PLUMBING
 DEMOLITION

Revisions
 No. Date Description
 Drawing Number
 PD100



2 PARTIAL SECOND FLOOR PLAN - PLUMBING
 P101 SCALE 1/4" = 1'-0"

KEY NOTES:

- 1 EXISTING FIXTURES TO REMAIN AS IS (N.I.C.)
- 2 EXISTING PUMP VENT TO REMAIN AS IS.
- 3 WHEN REPLACING THE EXISTING PIPING IN KIND WITH NEW PIPES, CONTRACTOR SHALL FOLLOW EXISTING ROUTING TO MINIMIZE COORDINATION ISSUES. MAINTAIN OLD SUPPORTS ORIENTATION AS REQUIRED BUT IN COMPLIANCE WITH LOCAL PLUMBING CODE.
- 4 FIELD LOCATE EXACT LOCATION OF VERTICAL PIPE AND OFFSET AWAY FROM PROPOSED NEW CARRIER.
- 5 REFER TO CARRIER PLAN FOR ADDITIONAL INFORMATION ON PROPOSED NEW CARRIERS.
- 6 RE-SEAL AND SUPPORT ALL EXISTING OPENINGS THRU EXISTING SLABS WITH NEW FIRE STOPPING AND RISER CLAMPS COORDINATED WITH WALL DIMENSIONS AND BUILDING ENVELOPE.
- 7 SUPPORT WATER PIPING IN CHASE AS REQUIRED W/ POST, STRAPS, CLAMPS AND SHIELDS.
- 8 TRENCH THE EXISTING WALL TO SET PROPOSED NEW PIPES AS REQUIRED, COORDINATE PATCHING WITH GC AND ARCHITECT'S GENERALS CONDITION SPECIFICATION FOR PAINTING AND FINISHES.
- 9 COORDINATE ACCESS TO JUNCTION BOXES AND FEEDER WITH ELECTRICAL CONTRACTOR FOR LOCATION AND ORIENTATION BEHIND THE BLOCK WALLS AND FEEDER THRU BLOCK WALL BACK TO SLOENOID FLUSH VALVE MOUNTED.
- 10 RE-BALANCE EXISTING HOT WATER RETURN AND PROVIDE FULL WRITTEN REPORT FOR REVIEW TO THE BUILDING STAFF AND BUILDING ENGINEER FOR COMPLIANCE.

COORDINATION NOTES:

CONTRACTOR SHALL PROVIDE A COORDINATION DRAWING ILLUSTRATING ALL THE EXISTING/NEW STEEL FRAMING, HVAC DUCT WORK AND UNITS, CEILING HEIGHTS, LIGHTS AND EXIT SIGNS ACKNOWLEDGE AND ENDORSED BEFORE PROCEED AND PRIOR TO INSTALLATION.

ADA NOTES:

REFER TO ARCHITECTURAL DETAIL FOR ALL ADA REQUIREMENT, MOUNTING HEIGHTS AND CLEARANCES. PROVIDE SHIELDS AND COVERS FOR ALL LAVATORIES AND SINKS AS PER LOCAL CODES.

PHASING NOTES

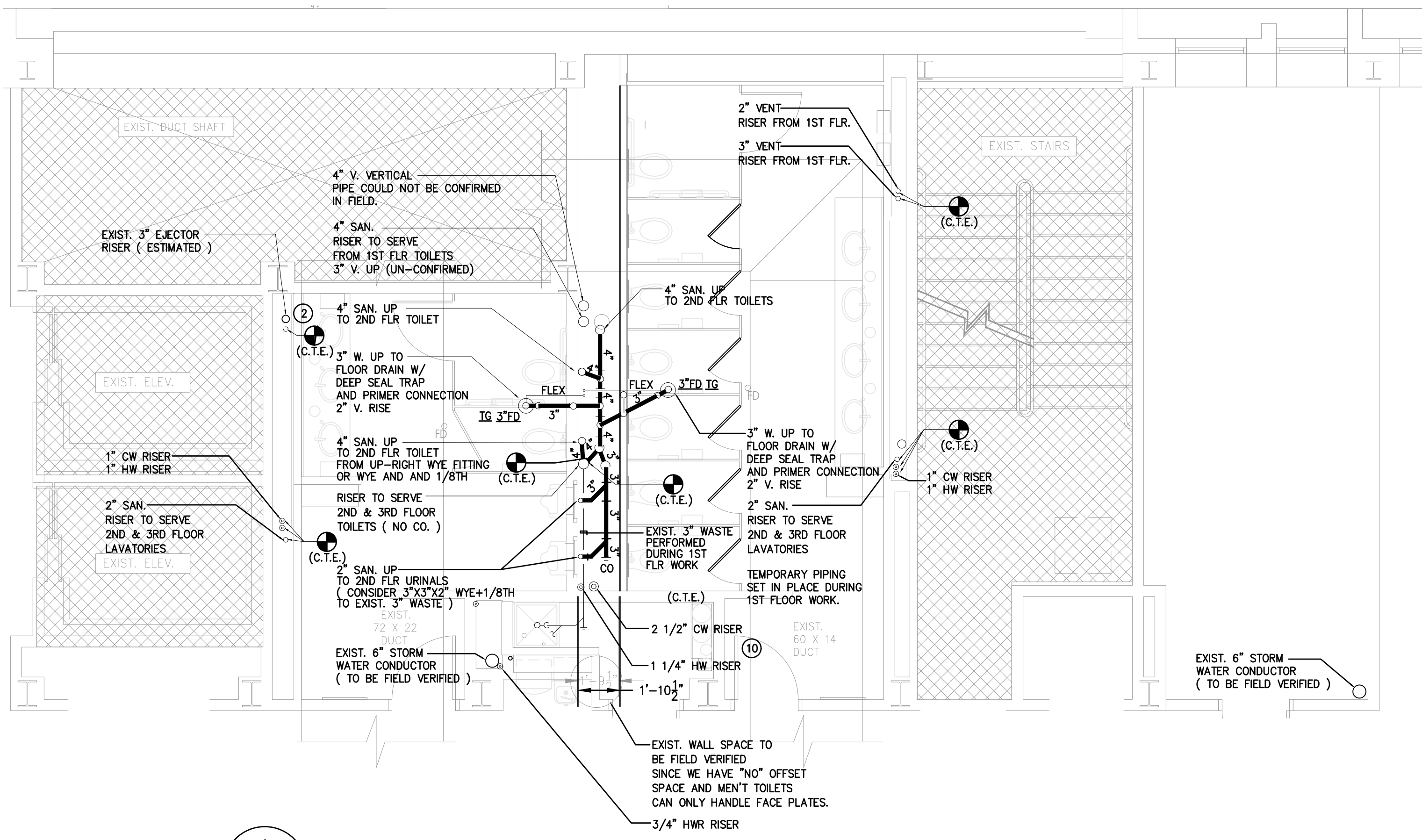
CONTRACTOR SHALL RELAY ON THE "BUILDING MANAGEMENT STAFF" FOR PHASING THE SCOPE OF WORK.

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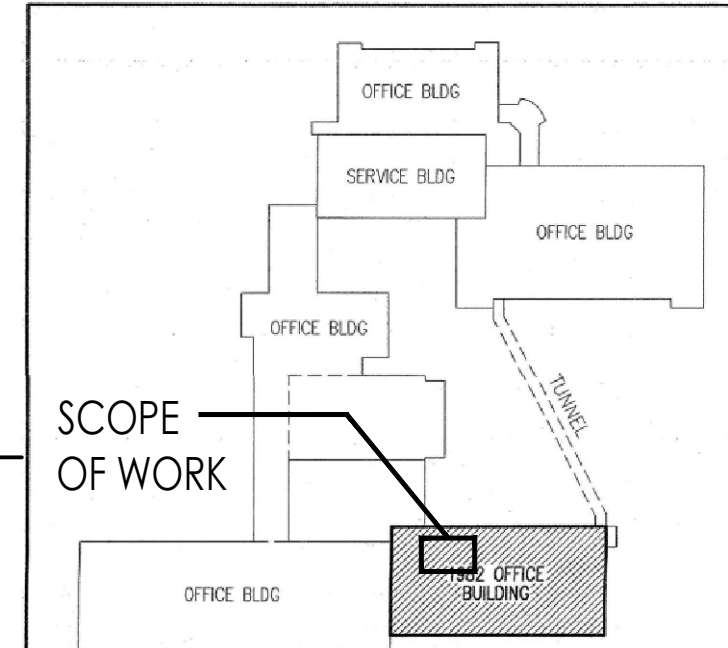
PRESSURE TESTING, FLUSHING AND DISINFECTING SHALL BE INCLUDED IN SCHEDULE BEFORE COMPLETION AND RE-INSTALLMENT OF PROPOSED NEW PIPING.

REMOVALS OF EXISTING PIPING THAT SERVES THE EXISTING 3rd and 1st FLOOR FIXTURES SHALL TAKE PRIORITY TO MINIMIZE SHUT DOWN AND DISPLACEMENT OF THE UPPER LEVEL TOILETS NOT IN SCOPE OF WORK.

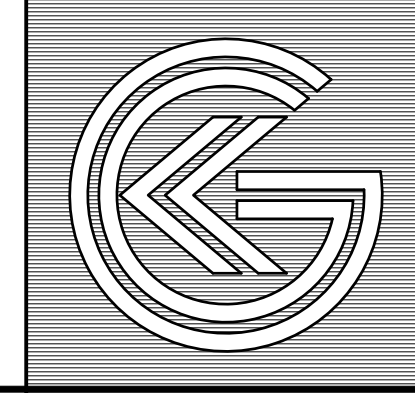
IT IS THE INTENT OF "NJM" TO REPLACE AS MUCH OF THE EXISTING PIPING MATERIAL AS POSSIBLE DURING THE COURSE OF THE WORK.



1 PARTIAL FIRST FLOOR PLAN - OVERHEAD PIPING
 P101 SCALE 1/4" = 1'-0"



KEY PLAN
 NOT TO SCALE



KELTER & GILLIGO
 consulting engineers
 P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
 Professional Engineer
 NJ 38656

WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ 140088000 PA 4616250A
 GEORGE E. DUTHE JR., AIA, PP
 NJ 154029700
 JASON J. DUBOWITZ, AIA
 NJ 154097900 PA 846000

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Project Name
 Renovations to
 Second Floor
 Toilet Rooms at
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 Building A - North

Project Owner Name
 New Jersey
 Manufacturers
 Insurance Company
 NJM Project #
 WT.C.2024.009

Project Location
 301 Sullivan Way,
 West Trenton, NJ
 08628

Project Number
 5578

Project Date
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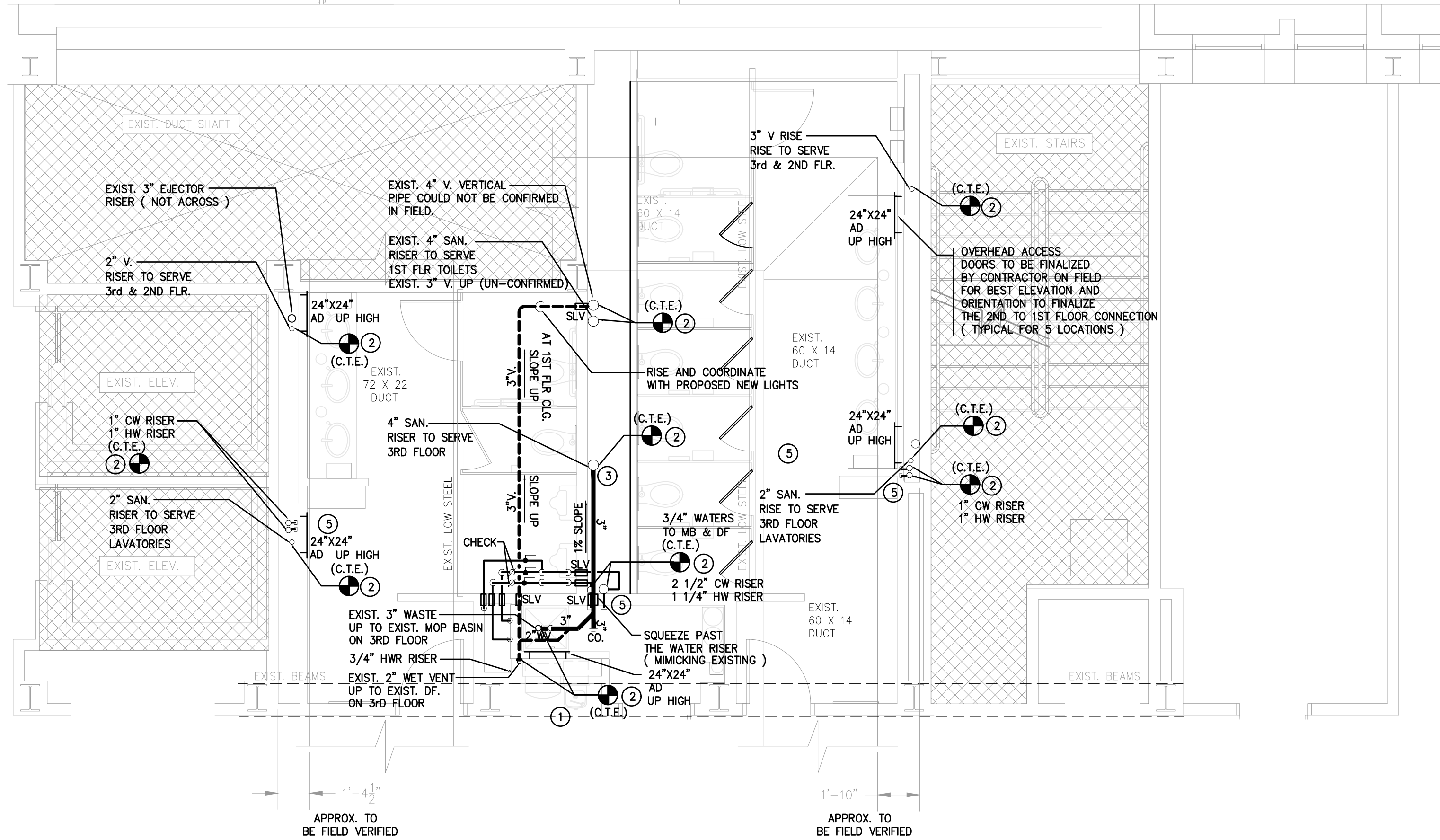
Drawn By
 LA

Scale
 AS NOTED

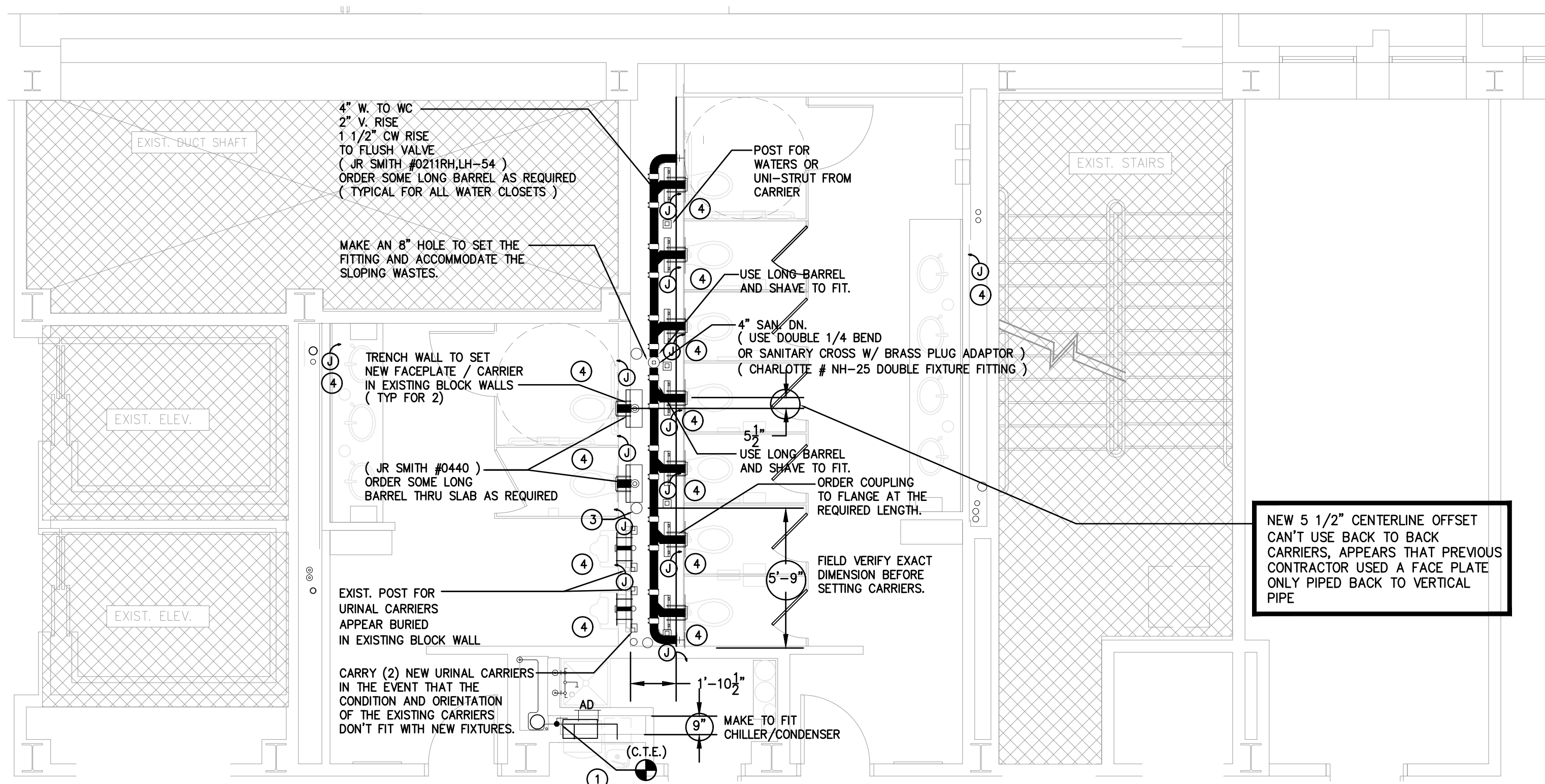
Drawing Name
 FIRST AND SECOND
 FLOOR PART PLANS
 PLUMBING

Revisions
 No. Date Description

Drawing Number
 P101



2 PARTIAL SECOND FLOOR PLAN – OVERHEAD PIPING
 SCALE 1/4" = 1'-0"



1 PARTIAL SECOND FLOOR PLAN – PLUMBING PROPOSED NEW CARRIERS ONLY
 SCALE 1/4" = 1'-0"

KEY NOTES:

- EXISTING FIXTURES TO REMAIN AS IS (N.I.C.)
- MAKE CONNECTION TO EXISTING PIPES TIGHT TO THE UNDERSIDE OF THE EXISTING 3RD FLOOR SLAB, WHEN CUTTING EXISTING PIPES LEAVE ENOUGH EXCESS TO ALLOW FOR A PHYSICAL CONNECTION
- FIELD LOCATE EXACT LOCATION OF VERTICAL PIPE AND OFFSET AWAY FROM PROPOSED NEW CARRIER.
- COORDINATE ACCESS TO JUNCTION BOXES AND FEEDER WITH ELECTRICAL CONTRACTOR FOR LOCATION AND ORIENTATION BEHIND THE BLOCK WALLS AND FEEDER THRU BLOCK WALL BACK TO SOLENOID FLUSH VALVE MOUNTED.
- REMOVE AND CAP TEMPORARY WATER AFTER ALL 2ND FLOOR TOILET WATER PIPING HAS BEEN PERFORMED AND PRESSURE TESTED AS PER LOCAL CODES.

COORDINATION NOTES:
 CONTRACTOR SHALL PROVIDE A COORDINATION DRAWING ILLUSTRATING ALL THE EXISTING/NEW STEEL FRAMING, HVAC DUCT WORK AND UNITS, CEILING HEIGHTS, LIGHTS AND EXIT SIGNS ACKNOWLEDGE AND ENDORSED BEFORE PROCEED AND PRIOR TO INSTALLATION.

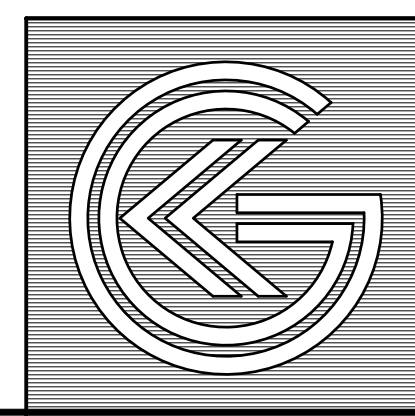
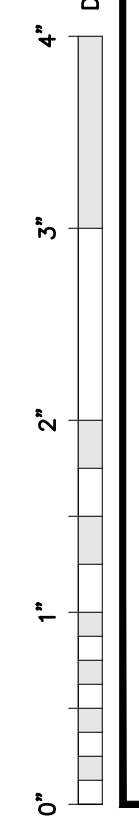
ADA NOTES:
 REFER TO ARCHITECTURAL DETAIL FOR ALL ADA REQUIREMENT, MOUNTING HEIGHTS AND CLEARANCES. PROVIDE SHIELDS AND COVERS FOR ALL LAVATORIES AND SINKS AS PER LOCAL CODES,

PHASING NOTES
 CONTRACTOR SHALL RELAY ON THE "BUILDING MANAGEMENT STAFF" FOR PHASING THE SCOPE OF WORK.
 ALL WORK TO BE PERFORMED SO THAT 3rd and 1st FLOOR TOILETS ROOMS CAN BE RETURNED TO OPERATION AT THE START OF "NAM" WORK DAY. CONTRACTOR TO ENSURE SEQUENCE OF CONSTRUCTION + WORK IS FULLY DOCUMENTED.
 PRESSURE TESTING, FLUSHING AND DISINFECTING SHALL BE INCLUDED IN SCHEDULE BEFORE COMPLETION AND RE-INSTATEMENT OF PROPOSED NEW PIPING.
 REMOVALS OF EXISTING PIPING THAT SERVES THE EXISTING 3rd AND 1st FLOOR FIXTURES SHALL TAKE PRIORITY TO MINIMIZE SHUT DOWN AND DISPLACEMENT OF THE UPPER LEVEL TOILETS NOT IN SCOPE OF WORK.
 IT IS THE INTENT OF "NAM" TO REPLACE AS MUCH OF THE EXISTING PIPING MATERIAL AS POSSIBLE DURING THE COURSE OF THE WORK.

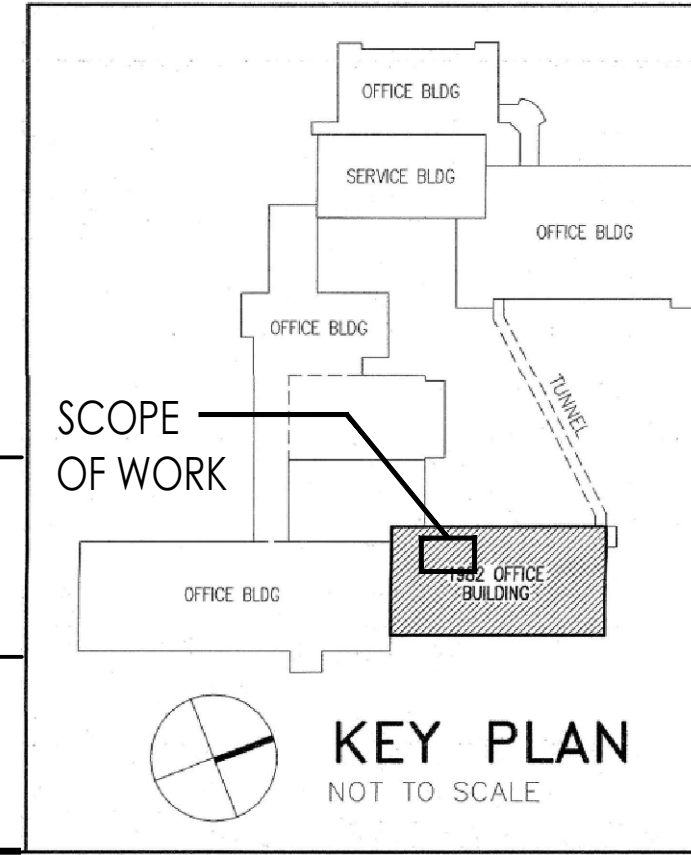
PLUMBING GENERAL NOTES

- THE CONTRACTOR FOR THIS WORK SHALL CAREFULLY INSPECT AND ACQUAINT HIMSELF WITH ALL THE EXISTING CONDITIONS IN ORDER THAT HE FULLY UNDERSTANDS THE SCOPE OF WORK REQUIRED. HE SHALL FIELD MEASURE AND VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. HE SHALL REPORT ANY CONDITION THAT, IN HIS OPINION, PREVENTS THE PROPER INSTALLATION OF THE PLUMBING WORK.
- THE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL BUILDING AND PLUMBING CODES, SUBSEQUENT AMENDMENTS, DEPARTMENT OF HEALTH REQUIREMENTS AND AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS AND PIPE SIZES OF EXISTING SERVICES AND UTILITIES BEFORE STARTING ANY WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- PIPING LAYOUTS ARE DIAGRAMMATIC AND INTENDED TO SHOW GENERAL ARRANGEMENT, SIZE, AND CAPACITY. ALL OFFSETS ARE NOT NECESSARILY SHOWN. THE CONTRACTOR SHALL ARRANGE AND COORDINATE THE WORK, FURNISH NECESSARY OFFSETS, VALVES AND FITTINGS TO AVOID CONFLICTS WITH EXISTING MECHANICAL, ELECTRICAL SYSTEMS, STRUCTURAL AND ARCHITECTURAL ELEMENTS.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING. PATCH ALL WALL OPENINGS AS NECESSARY TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL WALL PENETRATIONS WITH FIRE RATED SEALANT.
- THE CONTRACTOR SHALL RUN ALL PIPING TO AVOID REINFORCING AT ALL COLUMN LINES.
- THE CONTRACTOR SHALL INSTALL PIPING SO AS NOT TO ENCRUCH ON REQUIRED CLEARANCES ABOVE ANY ELECTRIC PANEL. NO PIPING SHALL BE INSTALLED DIRECTLY OVER ELECTRICAL PANELS AND NO PIPING SHALL BE INSTALLED WITH THE BOTTOM AT LESS THAN 66" ABOVE THE 4"-0" SPACE DIRECTLY IN FRONT OF ANY ELECTRIC PANELS.
- ALL ABANDONED PIPING SHALL BE PROPERLY TERMINATED IN WALL, OR IN CEILING.
- OWNER SHALL APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS AND APPROVALS REQUIRED IN CONNECTION WITH ALL PLUMBING WORK.
- THE CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER AND WILL REPAIR OR REPLACE ANY DEFECTIVE WORK PROMPTLY AND WITHOUT CHARGE AND RESTORE ANY OTHER EXISTING WORK DAMAGED IN THE COURSE OF REPAIRING DEFECTIVE MATERIALS AND WORKMANSHIP.
- ALL PIPING AND INSTALLATION SHALL BE IN COMPLIANCE WITH INTERNATIONAL BUILDING CODE 2021 NEW JERSEY EDITION, NATIONAL STANDARD PLUMBING CODE 2021 AND ANY APPLICABLE LOCAL CODES AND STANDARDS.

DRAWING REFERENCE SCALE, VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



KELTER & GILLIGO
 consulting engineers
 P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550
 Frank Tindall, P.E.
 Professional Engineer
 NJ 38636



WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ 124030001 PA 60162024
 GEORGE E. DUTHIE JR., AIA, PP
 NJ 124032900
 JASON J. DUBOWITZ, AIA
 NJ 124037801 PA 646009
FVHHD architects
 planners
Fraytak Veisz Hopkins Duthie P.C.
 Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave - North Clar - Pennsylvania 19403
 F.V.H.D.P.C. - C O M
 Date: 11/18/24

Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
**New Jersey Manufacturers Insurance Company
 NJM Project # WT.C.2024.009**

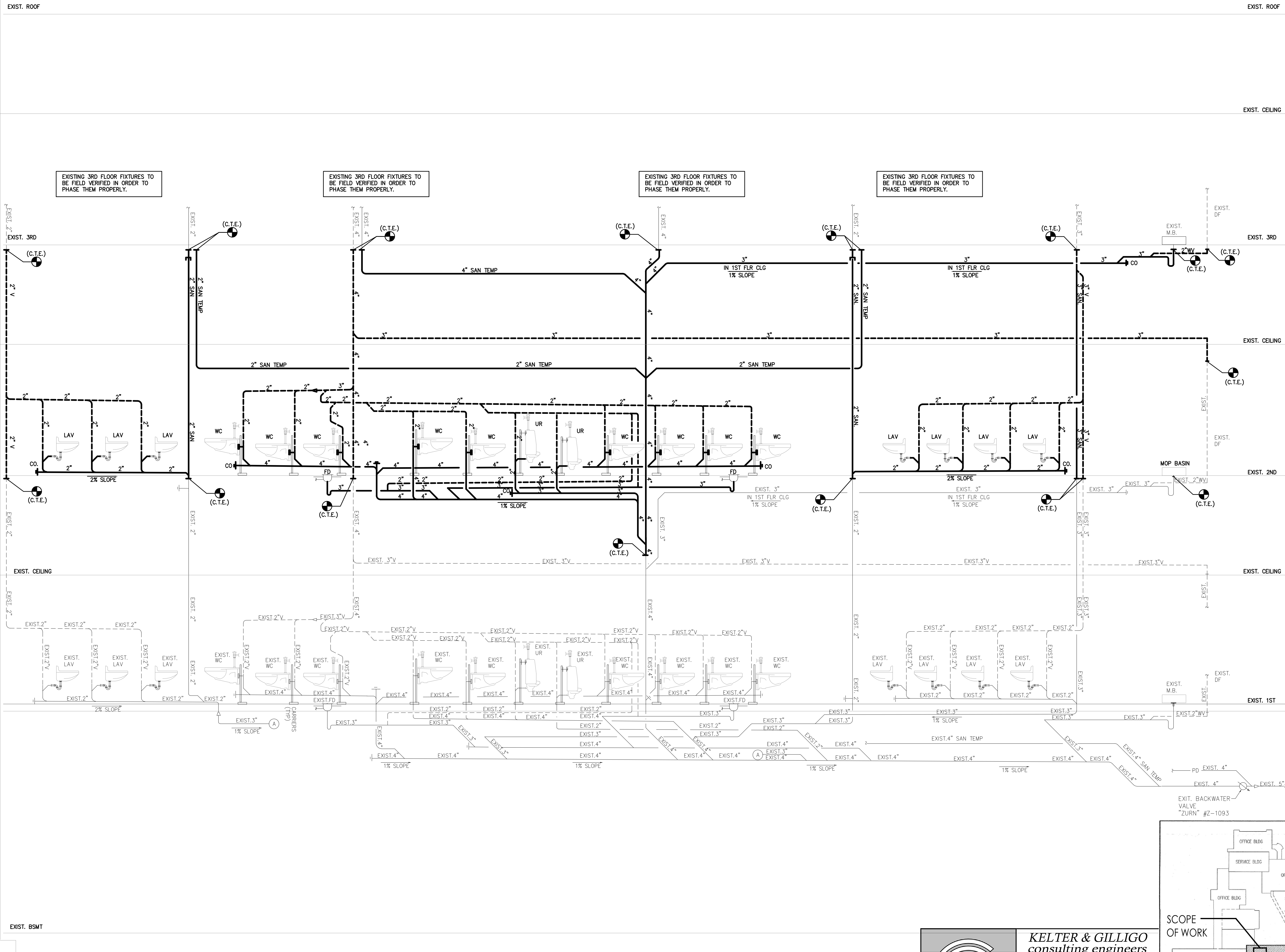
Project Location
301 Sullivan Way, West Trenton, NJ 08628

Project Number
5578
 Project Date
11.08.2024
 Checked By
FT
 Drawn By
LA
 Scale
AS NOTED

Drawing Name
SECOND FLOOR PART PLANS PLUMBING

Revisions		
No.	Date	Description

Drawing Number
P201



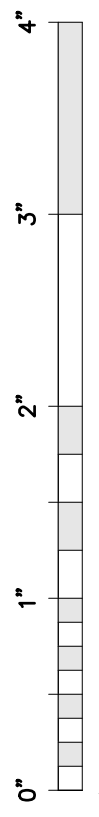
EXISTING 3RD FLOOR FIXTURES TO BE FIELD VERIFIED IN ORDER TO PHASE THEM PROPERLY.

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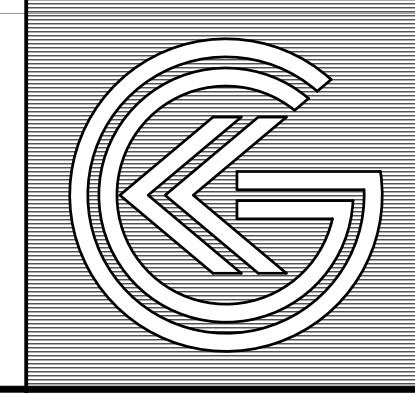
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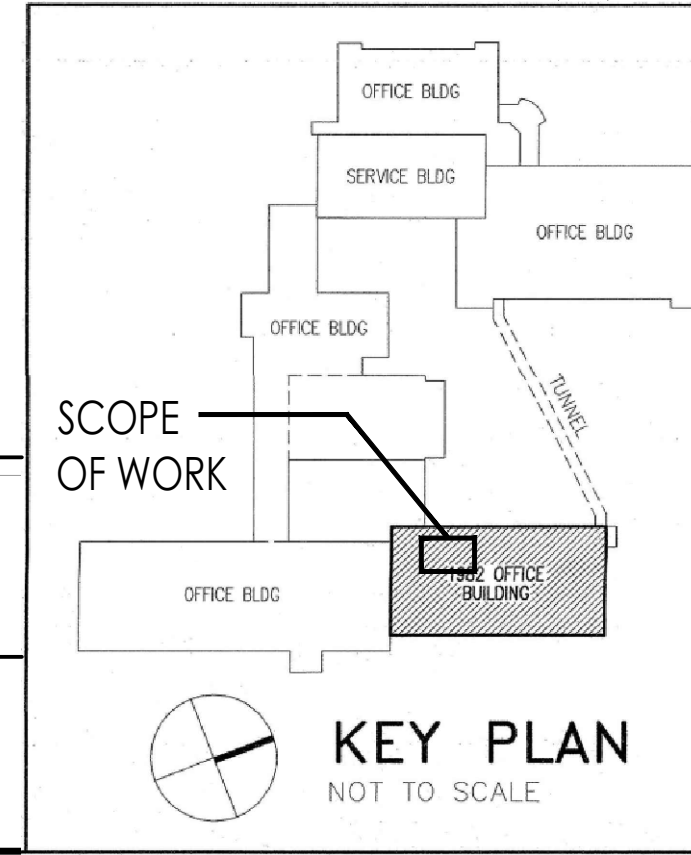
DRAWING REFERENCE SCALE, VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



1 SANITARY RISER DIAGRAM
P301 NOT TO SCALE



KELTER & GILLIGO
consulting engineers
P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
PRINCETON JUNCTION NEW JERSEY 08550
Frank Tindall, P.E.
Professional Engineer
NJ 38656



GFVHD architects
planners
Fraytak Veisz Hopkins Duthe P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - West Chester - Pennsylvania 19383
F V H D P C - C O M

WILLIAM D. HOPKINS III, AIA, LEED AP
NJ 34000800 PA 4601220A
GEORGE R. DUTHE JR., AIA, PP
NJ 340029900
JASON J. DUBOWITZ, AIA
NJ 340097800 PA 046000

Date: 11/21/24

Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
New Jersey Manufacturers Insurance Company NJM Project # WT.C.2024.009

Project Location
301 Sullivan Way, West Trenton, NJ 08628

Project Number
5578

Project Date
11.08.2024

Checked By
FT

Drawn By
LA

Scale
AS NOTED

Drawing Name
WASTE AND VENT RISERS DIAGRAMS

Revisions		
No.	Date	Description

Drawing Number
P301

EXIST. ROOF

EXIST. ROOF

EXIST. 3RD

EXIST. 3RD

EXIST. CEILING

EXIST. CEILING

EXIST. 2ND

EXIST. 2ND

EXIST. CEILING

EXIST. CEILING

EXIST. 1ST

EXIST. 1ST

EXIST. BSMT

EXISTING 3RD FLOOR FIXTURES TO BE FIELD VERIFIED IN ORDER TO PHASE THEM PROPERLY.

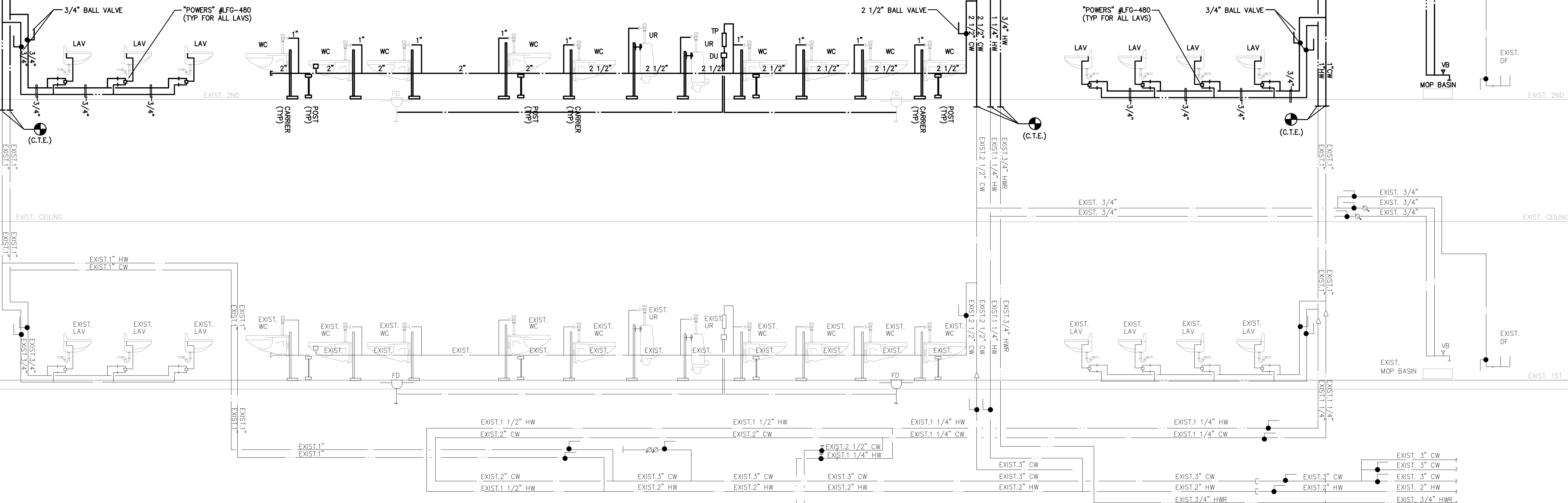
EXISTING 3RD FLOOR FIXTURES TO BE FIELD VERIFIED IN ORDER TO PHASE THEM PROPERLY.

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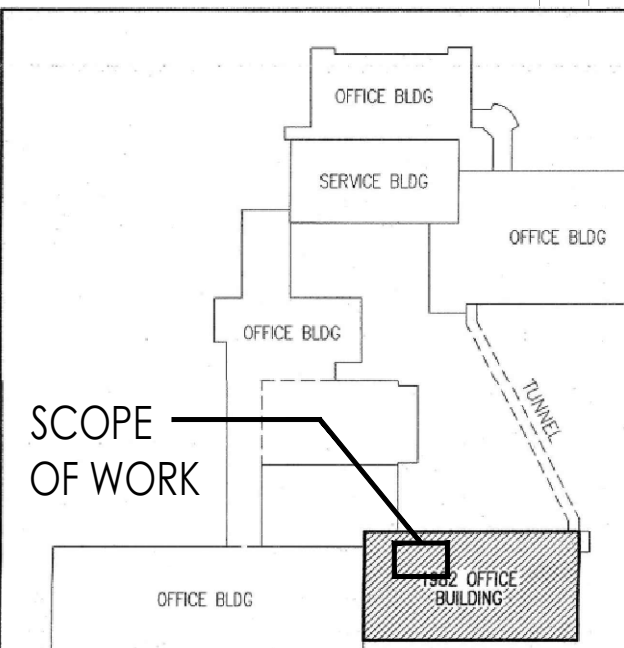
(C.T.E.) REMOVE CAPS FROM TEE AFTER 2ND FLOOR WORK IS COMPLETED (AND RE-CONNECT BACK TO ORIGINAL ROUTING OF REPLACED RISERS)

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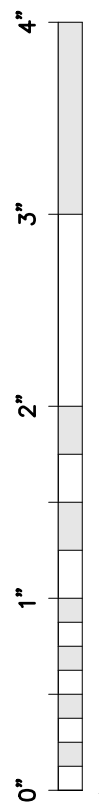


TO EXISTING BASEMENT FIXTURES INCLUDING JANITOR'S CLOSET

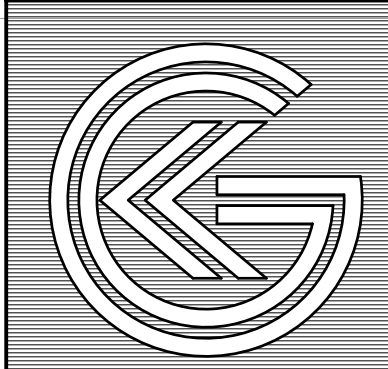


KEY PLAN NOT TO SCALE

DRAWING REFERENCE SCALE, VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.



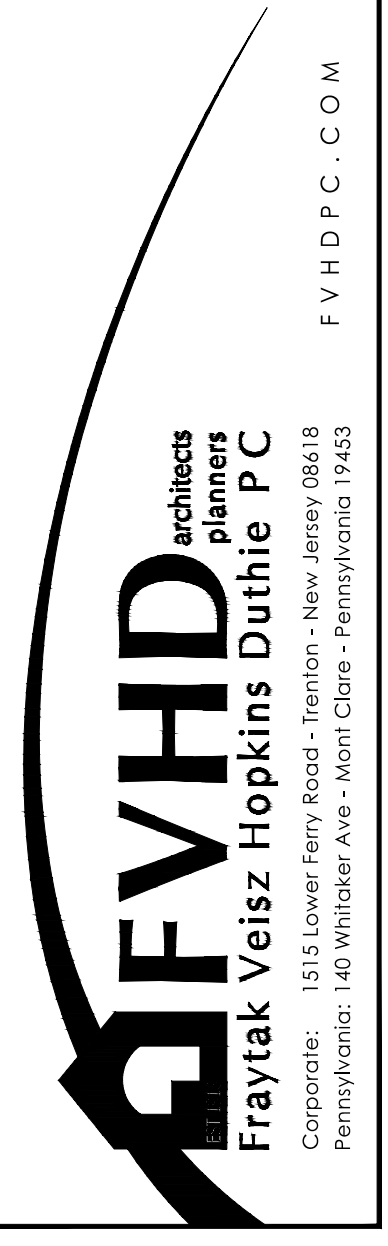
1 WATER RISER DIAGRAM
P302 NOT TO SCALE



KELTER & GILLIGO
 consulting engineers
 P.O. BOX 777, 196 PRINCETON-HIGHTSTOWN RD.
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.
 Professional Engineer
 NJ 38656

WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ 34008000 PA - 60122024
 GEORGE R. DUTHE JR., AIA, PP
 NJ 340029900
 JASON J. DUBOWITZ, AIA
 NJ 3400978001 PA - 846009



Project Name
Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
**New Jersey Manufacturers Insurance Company
 NJM Project # WT.C.2024.009**

Project Location
**301 Sullivan Way,
 West Trenton, NJ 08628**

Project Number
5578
 Project Date
11.08.2024
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AS NOTED

Drawing Name
WASTE AND VENT RISERS DIAGRAMS

Revisions	No.	Date	Description

Drawing Number
P302

PLUMBING SYMBOL LIST

ABBREVIATION	SYMBOL	DESCRIPTION	ABBREVIATION	SYMBOL	DESCRIPTION
CW		COLD WATER PIPING	O.S.&Y.		OUTSIDE STEM & YOKE VALVE
HW		HOT WATER PIPING	AV		ANGLE VALVE
HWR		HOT WATER RETURN PIPING			BRANCH - TOP CONNECTION
(E) CW		(E) COLD WATER PIPING			BRANCH - BOTTOM CONNECTION
(E) HW		(E) HOT WATER PIPING			NEW CONNECTION TO EXISTING
(E) HWR		(E) HOT WATER RETURN PIPING			WATER HAMMER ARRESTOR
X-T		PIPING WITH HEAT TRACE (EXPOSED)	WHA		WATER HAMMER ARRESTOR
W		SITE WATER SUPPLY	HB		HOSE BIBB W/VACUUM BREAKER
(E) F		(E) FIRE PROTECTION WATER SUPPLY	HH		NON-FREEZE WALL HYDRANT
(E)		EXISTING PIPING TO BE REMOVED	TV		HOT WATER TEMPERING VALVE
V		VENT			HOT WATER RETURN BALANCING VALVE ASSEMBLY
(E) V		(E) VENT	PV		GAS PLUG VALVE
SAN		SOIL, WASTE, OR SANITARY SEWER			GAS PRESSURE REGULATOR
SAN		UNDERGROUND/BELOW SLAB SOIL, WASTE, OR SANITARY SEWER			TRAP
(E) SAN		(E) SOIL, WASTE OR SANITARY SEWER	CO		CLEANOUT
(E) ST/(E) L		(E) STORM WATER LEADER OR SEWER	T&P		TEMPERATURE & PRESSURE RELIEF VALVE
G		NATURAL GAS	FD		FLOOR/ROOF DRAIN
(E) G		(E) NATURAL GAS	COOP		CLEAN OUT DECK PLATE
		REDUCER	M		WATER METER & VALVE ASSEMBLY
		CAPPED OUTLET	M		GAS METER AND PRESSURE REDUCING VALVE ASSEMBLY
		VALVED & CAPPED OUTLET	BFP		BACKFLOW PREVENTOR
		VALVE ON VERTICAL	RPZ		REDUCED PRESSURE ZONE VALVE ASSEMBLY
		UNION			
		PIPING DROP			
		PIPING RISE			
BV		BALL VALVE			
GV		GATE VALVE			
GV		GLOBE VALVE			
CV		CHECK VALVE			

PLUMBING ABBREVIATIONS

A	COMPRESSED AIR	GPF	GALLONS PER FLUSH	DI	DEIONIZED WATER	OD	OVERFLOW DRAIN
AFF	ABOVE FINISHED FLOOR	GPH	GALLONS PER HOUR	DIP	DUCTILE IRON PIPE	(R)	REUTILIZED
AP	ACCESS PANEL	GPM	GALLONS PER MINUTE	DFU	DRAINAGE FIXTURE UNITS	S	SANITARY
BFP	BACKFLOW PREVENTOR	HW	HOT WATER SUPPLY	DN	DOWN	SAN.	SANITARY
CFH	CUBIC FEET PER HOUR	HWR	HOT WATER RETURN	DP.	DROP	ST	STORM
CIP	CAST IRON PIPE	I.E.	INVERT ELEVATION	DWG	DRAWING	TB	THRUST BLOCK
CO	CLEAN OUT	INV	INVERT	(E)/EXIST.	EXISTING	V	VENT
COOP	CLEAN OUT DECK PLATE	LDR	LEADER	(F)	FAHRENHEIT	VTR	VENT THROUGH ROOF
CV	CHECK VALVE	LS	LAB SINK	FD	FLOOR DRAIN	.	DEGREES
CW	COLD WATER	NC	NORMALLY CLOSED	G	NATURAL GAS	ΔT	TEMPERATURE CHANGE
DCV	DOUBLE CHECK VALVE	NO	NORMALLY OPEN				

PLUMBING SPECIALTIES SCHEDULE

MARK	DESCRIPTION	MANUFACTURER MODEL	REMARKS
SA	WATER HAMMER ARRESTOR	ZURN Z-1700	STAINLESS STEEL CONSTRUCTION, SIZE 600 & 1" OUTLET
IG	WATERLESS TRAP GUARD	PROVENT TRAP GUARD	ELASTOMERIC, NORMALLY CLOSED TRAP GUARD DEVICE WHICH OPENS WHEN IN CONTACT WITH LIQUID, COMPLIES WITH ANS/ASME A112.6.3
IP	TRAP PRIMER	ZURN Z-1022	ALL BRONZE BODY INLINE TRAP PRIMER W/INTEGRAL VACUUM BREAKER & NON-LIMING INTERNAL OPERATING ASSEMBLY

PLUMBING DRAIN SCHEDULE

MARK	GENERAL				REMARKS
	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LOCATION	
ED	FLOOR DRAIN	JAY R SMITH	#2005Y-CP W/ PRIMER ADAPTOR ON TAILPIECE #2697C	TOILET ROOMS	C.I. BODY, 3" OUTLET SIZE NO-HUB, 6" ROUND TYPE POLISHED CHROME STRAINER, PROVIDE TO ELASTOMERIC WATERLESS TRAP GUARD AND PRIMER CONNECTION WITH ADAPTOR TO AVOID TRENCHING THE SLAB.

NOTES:

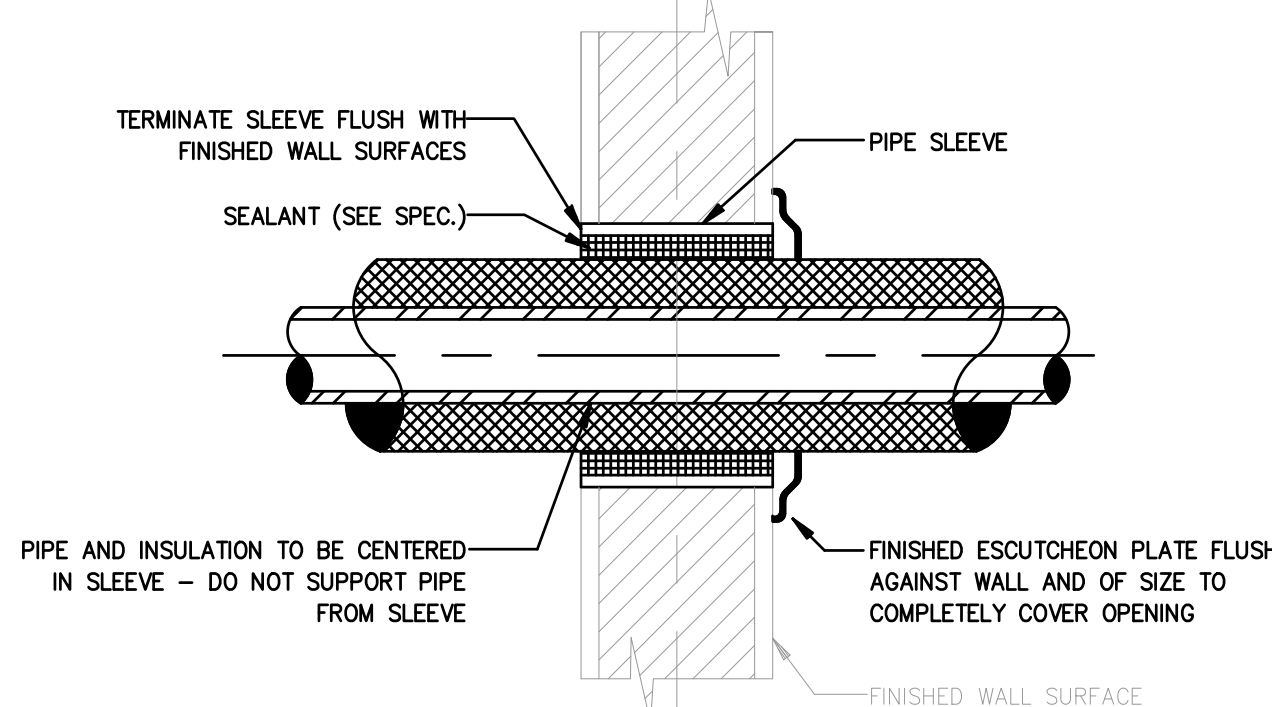
- COORDINATE FLOOR DRAIN LOCATIONS WITH BATHROOM PARTITION AND ADA RADIUS.
- COORDINATE FLOOR DRAIN AND BATHROOM TILE AND MORTAR COMPOSITION OPTION ON DRAWINGS PRIOR TO SHOP DWG. SUBMISSION. (IF THERE'S A WATER PROOFING MEMBRANE THAT NEEDS TO BE FLASHED WITH FLOOR DRAIN COLLAR TRENCH ACCORDINGLY)

PLUMBING FIXTURE & CONNECTION SCHEDULE

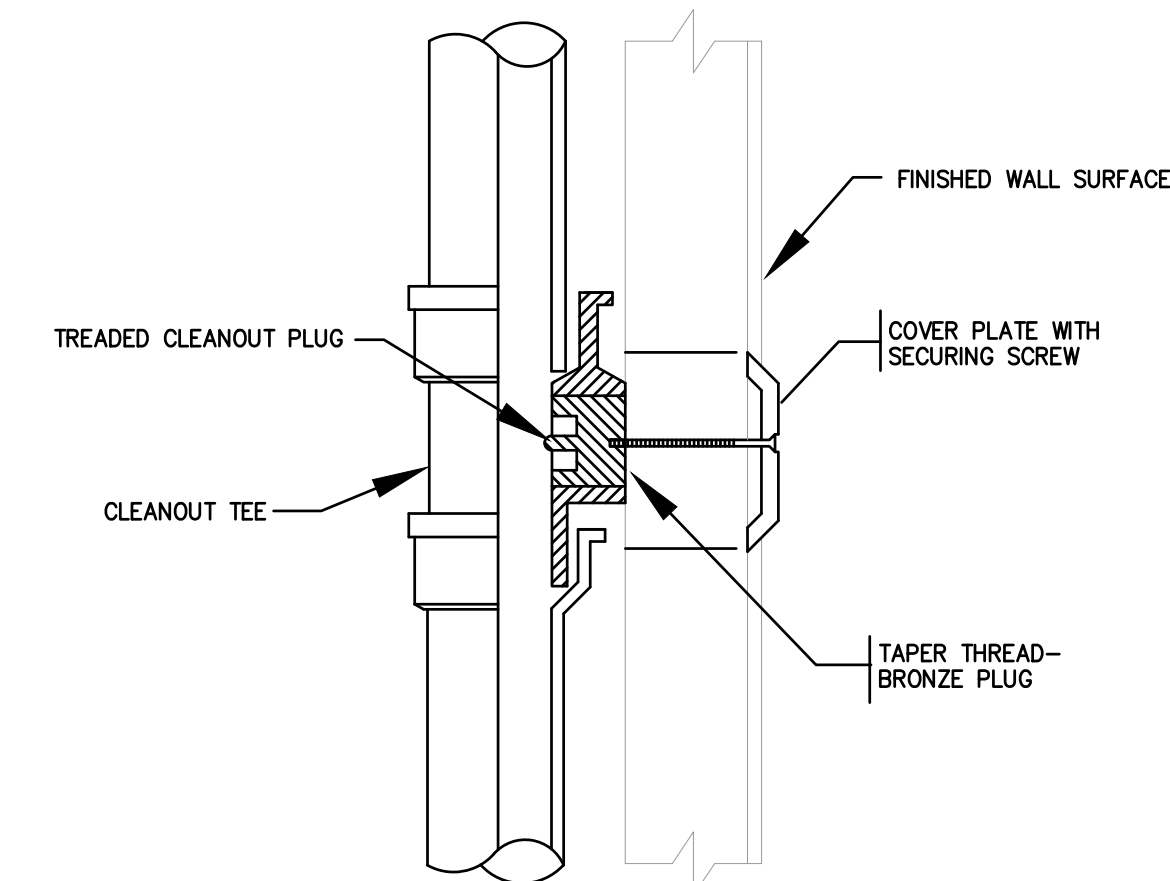
MARK	FIXTURE	MOUNTING	MANUFACTURER	MODEL NO.	TRIM NO.	SUPPORT NO.	TRAP	WASTE	VENT MIN.	CW	HW	REMARKS
P-1	WATER CLOSET	WALL HUNG	"SLOAN"	#ST-2459	#GEM-1 111 SFSM-1.28-HW (W/TRANSFORMER)	JR SMITH #0211-RH-LH-M54	INTEGRAL	4"	2"	1"	-	ADA COMPLIANT VITREOUS CHINA FIXTURE WITH ANTI-MICROBIAL FINISH: 1.28 GPF, SENSOR OPERATED FLUSH VALVE, HARDWRED, PISTON TYPE, PROVIDE TRANSFORMER, PROVIDE CENTOCO #500STCC-001 OPEN FRONT SEAT LESS COVER WITH ANTI-MICROBIAL FINISH AND CHECK HINGE.
P-1A	WATER CLOSET ADA	WALL HUNG	"SLOAN"	#ST-2459	#GEM-1 111 SFSM-1.28-HW (W/TRANSFORMER)	JR SMITH #0211-RH-LH-M54	INTEGRAL	4"	2"	1"	-	ADA COMPLIANT VITREOUS CHINA FIXTURE WITH ANTI-MICROBIAL FINISH: 1.28 GPF, SENSOR OPERATED FLUSH VALVE, HARDWRED, PISTON TYPE, PROVIDE TRANSFORMER, PROVIDE CENTOCO #500STCC-001 OPEN FRONT SEAT LESS COVER WITH ANTI-MICROBIAL FINISH AND CHECK HINGE.
P-2	URINAL	WALL HUNG	"SLOAN"	#SU-1009	#GEM-2 186 SFSM-1.0-XL-HW (W/TRANSFORMER)	JR SMITH #0614	INTEGRAL	2"	2"	3/4"	-	.125 GPF, SENSOR OPERATED FLUSH VALVE, HARDWRED, PISTON TYPE, PROVIDE TRANSFORMER. (COORDINATE EXISTING CARRIER FOR COMPLIANCE CARRY THE PRICE OF A NEW CARRIER AND BLOCK WALL DEMOLITION SHOULD IT REQUIRE REPLACEMENT).
P-2A	URINAL ADA	WALL HUNG	"SLOAN"	#SU-1009	#GEM-2 186 SFSM-1.0-XL-HW (W/TRANSFORMER)	JR SMITH #0614	INTEGRAL	2"	2"	3/4"	-	.125 GPF, SENSOR OPERATED FLUSH VALVE, HARDWRED, PISTON TYPE, PROVIDE TRANSFORMER. (COORDINATE EXISTING CARRIER FOR COMPLIANCE CARRY THE PRICE OF A NEW CARRIER AND BLOCK WALL DEMOLITION SHOULD IT REQUIRE REPLACEMENT).
P-3	LAVATORY	COUNTER TOP	REFER TO ARCHITECTURAL SCHEDULES FOR BOWLS	-	#ET-80-4-BOX-TEE-CP-5GPM-MLM-IR-FCT W/ HARDWRED AND PIGGYBACK	N/A	1-1/2" x 1-1/2"	1-1/2"	1-1/2"	3/4"	3/4"	ADA COMPLIANT FIXTURE; PROVIDE DRAIN BODY, CHROME PLATED P-TRAP, TAILPIECE, GRID DRAIN STRAINER, ANGLE STOPS, ESCUTCHEONS AND BRAIDED STEEL SUPPLIES WITH ADA COVER AND/OR WRAPS, PROVIDE TAILPIECE, TRAP, "J" BEND AND OFFSET BASED ON ARCHITECTURAL DETAILS. (PROVIDE DEDICATED MIXERS SIMILAR TO "POWERS" LFG-480 DOWN TO .25 GPC)
P-3A	LAVATORY ADA	COUNTER TOP	REFER TO ARCHITECTURAL SCHEDULES FOR BOWLS	-	#ET-80-4-BOX-TEE-CP-5GPM-MLM-IR-FCT W/ HARDWRED AND PIGGYBACK	N/A	1-1/2" x 1-1/2"	1-1/2"	1-1/2"	3/4"	3/4"	ADA COMPLIANT FIXTURE; PROVIDE DRAIN BODY, CHROME PLATED P-TRAP, TAILPIECE, GRID DRAIN STRAINER, ANGLE STOPS, ESCUTCHEONS AND BRAIDED STEEL SUPPLIES WITH ADA COVER AND/OR WRAPS, PROVIDE TAILPIECE, TRAP, "J" BEND AND OFFSET BASED ON ARCHITECTURAL DETAILS. (PROVIDE DEDICATED MIXERS SIMILAR TO "POWERS" LFG-480 DOWN TO .25 GPC)
P-4	MOP BASIN	FLOOR MOUNTED	"STERN WILLIAMS"	#EB-54	#T-15-VB #T-35 #T-40 #T-1-BP	N/A	3" x 3"	1-1/2"	1-1/2"	3/4"	3/4"	COORDINATE ACTUAL DIMENSION OF BASIN WITH AVAILABLE WALL DIMENSIONS BEFORE ORDERING. COORDINATE ANY TILE FINISH REQUIRED BY LOCAL CODE. PROVIDE WITH STEEL STRAINER #1453BB; INSTALLATION REQUIRES 1/2" LAYER OF MORTAR AND 1/4" CLEARANCE BETWEEN BASIN AND WALL

NOTE:

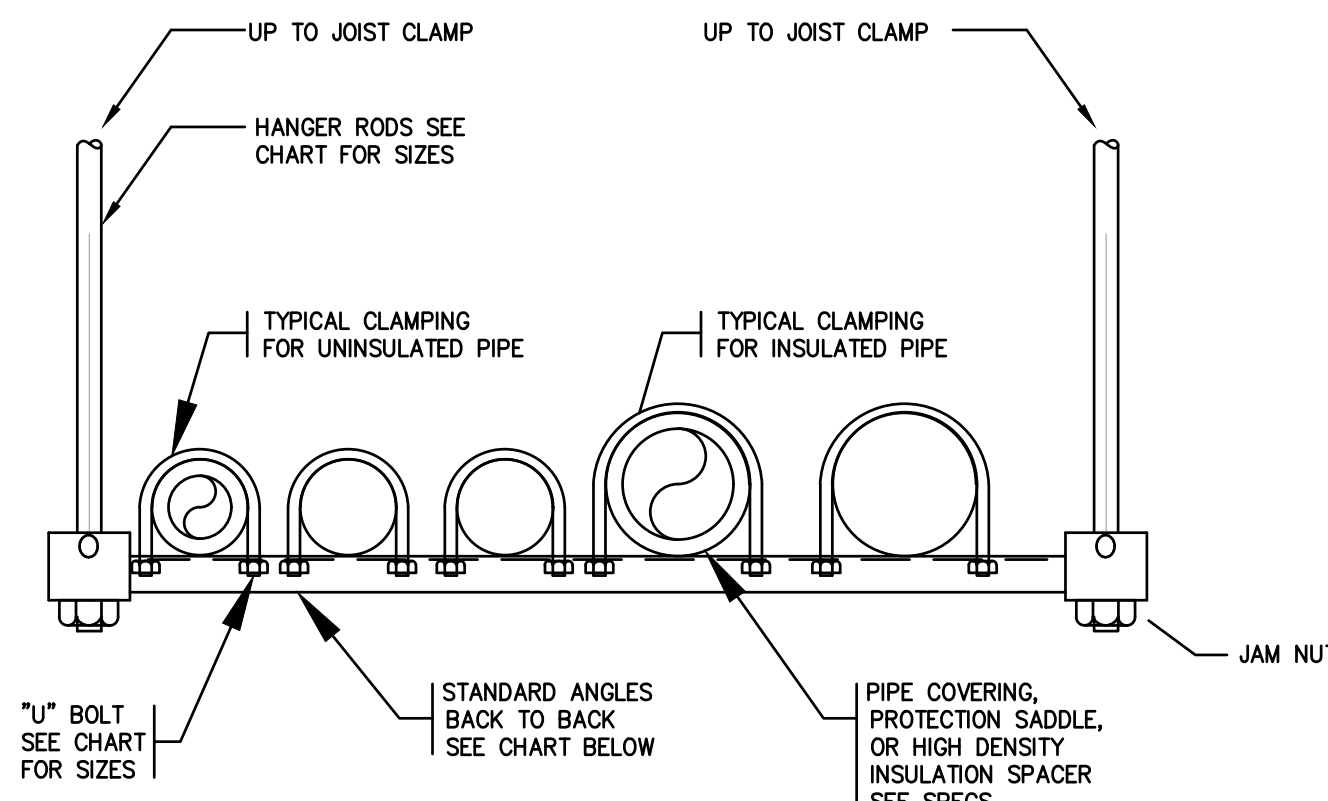
- PLUMBING CONTRACTOR SHALL COORDINATE SPECIFIED COUNTER LAVATORY WITH MILLWORK CONSTRUCTION DRAWINGS PRIOR TO PURCHASE OF ANY PLUMBING FIXTURES, AND SUBMIT MILLWORK DRAWINGS WITH FIXTURE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- MOUNTING HEIGHTS FOR ALL FIXTURES SHALL BE AS INDICATED AND DIRECTED BY ARCHITECT.
- ALL EXPOSED TRAP ASSEMBLIES AND WATER SUPPLIES TO BE INSULATED COORDINATE WITH ARCHITECTURAL DETAILS BEFORE ORDERING COVERS, SHIELDS, TRAP ASSEMBLIES ECT..
- PLUMBING CONTRACTOR TO MAKE ALL FINAL CONNECTION TO FIXTURES AND ONE PIECE LAVATORY BOWL INCLUDING BUT NOT LIMITED TO FAUCETS, WATERS, FLEXES AND DRAINS ECT.



1 PIPE SLEEVE THRU INTERIOR WALL P401 NOT TO SCALE



2 CLEANOUT FOR DRAINAGE PIPING CONCEALED BEHIND WALLS P401 NOT TO SCALE



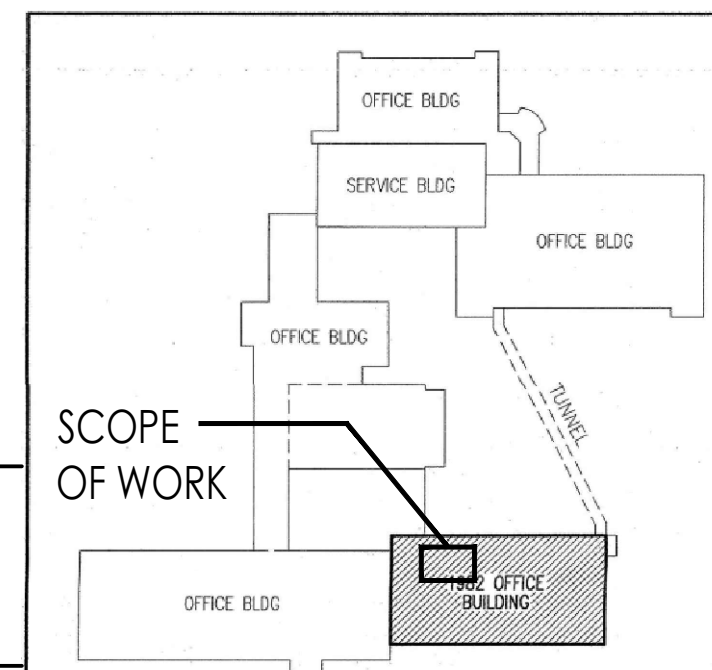
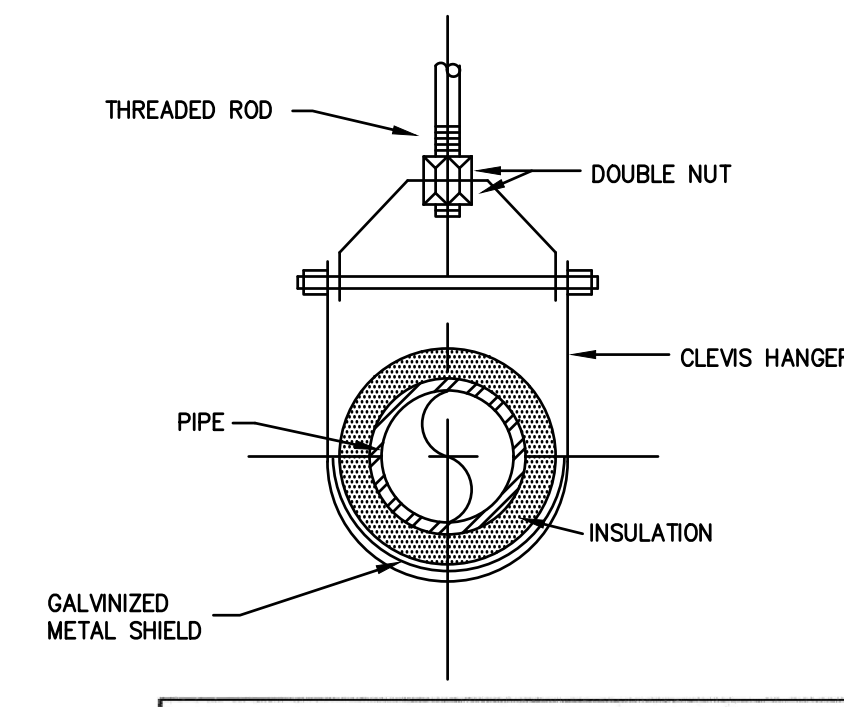
ANGLE SIZING FOR SPANS UP TO 10' (LOAD EQUALLY DISTRIBUTED)			PIPE SIZE	"U" BOLT SIZE
LOAD ON TRAPEZE LB.	ANGLE SIZE BACK TO BACK	HANGER ROD SIZE		
0 - 500	1 1/2" x 1 1/2" x 1/4"	3/8"	UP TO 1"	1/4"
600 - 1200	2" x 2" x 1/4"	1/2"	1 1/4" TO 4"	3/8"
1300 - 2000	2 1/2" x 2 1/2" x 1/4"	5/8"	6" TO 10"	5/8"
			12"	3/4"

3 TRAPEZE HANGER DETAIL P401 NOT TO SCALE P-502

PIPE DIA.	SHIELD		ROD DIA.	MAX. PIPE SUPPORT SPAN		
	LENGTH	THICKNESS		STEEL	COPPER	CAST IRON
1/2"	12"	.048"	3/8"	8'-0"	6'-0"	-
3/4"	12"	.048"	3/8"	8'-0"	6'-0"	-
1"	12"	.048"	3/8"	8'-0"	6'-0"	-
1-1/4"	12"	.048"	3/8"	8'-0"	6'-0"	-
1-1/2"	12"	.048"	1/2"	10'-0"	8'-0"	5'-0"
2"	12"	.048"	1/2"	10'-0"	8'-0"	5'-0"
2-1/2"	12"	.048"	1/2"	10'-0"	8'-0"	-
3"	12"	.048"	1/2"	12'-0"	10'-0"	5'-0"
4"	12"	.060"	5/8"	12'-0"	10'-0"	5'-0"

* SHIELD NOT REQUIRED ON INSULATED PIPE

4 CLEVIS HANGER DETAIL P401 NOT TO SCALE



KEY PLAN NOT TO SCALE

WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ-14008000 PA-4610200A
 GEORGE E. DUTHE JR., AIA, PP
 NJ-15402920
 JASON J. DUBOWITZ, AIA
 NJ-15402920
 FRAYTAK VEISZ HOPKINS DUTHE P.C.
 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Corporate: 140 Whitaker Ave - Morristown - Pennsylvania 19433
 F.V.H.D.P.C. - C.O.M.

Project Name
 Renovations to Second Floor Toilet Rooms at NJM West Trenton Building A - North

Project Owner Name
 New Jersey Manufacturers Insurance Company
 NJM Project # WT.C.2024.009

Project Location
 301 Sullivan Way, West Trenton, NJ 08628

Project Number
 5578
 Project Date
 11.08.2024
 Checked By
 FT
 Drawn By
 LA
 Scale
 AS NOTED

NOTES, SCHEDULES AND DETAILS PLUMBING

Revisions
 No. Date Description
 Drawing Number
 P401

DRAWING REFERENCE SCALE, VERIFY ACTUAL SIZE AND ADJUST AS REQUIRED.

