

ATLANTIC



COUNTY

BATH HOUSE REPLACEMENT AND SITE IMPROVEMENTS

AT

PICNIC AREA #1

BLOCK 51 LOT 5

109 NJ-50, MAYS LANDING,
ATLANTIC COUNTY, NEW JERSEY 08330

SHEET LIST TABLE	
Sheet Number	Sheet Title
T1.0	COVER SHEET
S1.0	EXISTING CONDITIONS PLAN
S2.0	DEMOLITION PLAN
S3.0	SITE PLAN
S4.0	GRADING AND DRAINAGE PLAN
S5.0	SOIL EROSION AND SEDIMENT CONTROL PLAN
S6.0	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
C1.0	CONSTRUCTION DETAILS 1
C2.0	CONSTRUCTION DETAILS 2
C3.0	CONSTRUCTION DETAILS 3
C4.0	CONSTRUCTION DETAILS 4
C5.0	CONSTRUCTION DETAILS 5
C6.0	CONSTRUCTION DETAILS 6
G1.1	SHEET SPECS, GENERAL NOTES, SYMBOLS, ETC. LIFE SAFETY INFO/PLANS
G1.2	ADA FIGURES
G1.3	ADA FIGURES
G1.4	ADA FIGURES
D1.0	DEMO PLAN
A1.0	FLOOR & FRAMING PLANS
A2.0	BUILDING ELEVATIONS
A3.0	BUILDING SECTIONS & DETAILS
A4.0	BUILDING SECTIONS & ROOF DETAILS
A5.0	RESTROOM ELEVATIONS



KEY MAP
SCALE: 1" = 300'±

GENERAL CONSTRUCTION NOTES:

- THE SUBJECT PROPERTY IS KNOWN AND DESIGNATED AS BLOCK 51, LOT 5 AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF ESTELL MANOR, SHEET NO. 8.
- EXISTING CONDITIONS AND LIMITED TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM "LIMITED TOPOGRAPHIC SURVEY, PREPARED FOR A PORTION OF LOT 5, BLOCK 51 ESTELL MANOR PARK SITUATED IN THE CITY OF ESTELL MANOR ATLANTIC COUNTY, NEW JERSEY" PREPARED BY FRENCH AND PARRELLO ASSOCIATES DATED JUNE 25, 2024.
- THE CONTRACTOR IS ADVISED TO VERIFY THE EXISTING INFORMATION SHOWN ON THE PLANS. ACCURACY AND COMPLETENESS ARE NOT GUARANTEED BY THE OWNER ARCHITECT OR ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS TO PROPERLY SECURE THE SITE FROM PUBLIC ACCESS, INCLUDING TEMPORARY CHAIN LINK FENCING, SIGNAGE, CONES, BARRICADES, LOCKS, ETC. CONTRACTOR SHALL COORDINATE THIS EFFORT WITH THE PARK DIRECTOR PRIOR TO ADVANCING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TOP SOILING, FERTILIZING AND SEEDING ALL PROPOSED LAWN AREAS AND RESTORING ALL AREAS DISTURBED BY HIS OR HER ACTIVITIES AS PER THE SEEDING SCHEDULE ON THE SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAIL SHEET, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL HYDROSEED ALL AREAS THAT REQUIRE NEW OR RESTORED LAWN.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL ITEMS IN CONFLICT WITH THE PROPOSED CONSTRUCTION UNLESS INDICATED AS "TO REMAIN".
- ALL DESIGN FEATURES DEPICTED HEREON WERE BASED ON CONSTRAINTS AND REGULATIONS IN EFFECT AT THE TIME OF PREPARATION AND INITIAL PRESENTATION OF THIS PLAN. CONTRACTOR SHALL VERIFY ALL CURRENT DEVELOPMENT CONSTRAINTS PRIOR TO COMMENCEMENT OF ANY ACTIVITY BASED ON THIS MAP.
- ALL WORK IS TO BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCE TO G.C., CONTRACTOR, OR GENERAL CONTRACTOR IS TO MEAN GENERAL CONTRACTOR FOR PURPOSES OF THIS WORK.
- THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT HIS OR HER WORK IN FULL ACCORDANCE WITH REQUIREMENTS OF ALL REGULATIONS AND AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL CODES, RULES AND REGULATIONS OF HEALTH, PUBLIC OR OTHER AUTHORITY CONTROLLING OR LIMITING THE METHODS, MATERIAL TO BE USED, OR THE ACTIONS OF THOSE EMPLOYED IN WORK OF THIS KIND. ALL WORK, LABOR OR MATERIAL NECESSARY TO COMPLY WITH THESE LAWS, CODES, RULES AND REGULATIONS SHALL BE PERFORMED AND FURNISHED BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF ALL ITEMS SHOWN HEREON UNLESS IDENTIFIED AS "BY OTHERS". COST FOR ALL WORK TO BE INCLUDED IN THE COST BID FOR THE VARIOUS PAY ITEMS LISTED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL RESET ALL EXISTING STRUCTURES INCLUDING, BUT NOT LIMITED TO, UTILITY BOXES, COVERS, FENCES, GATES, MANHOLE COVERS, STORM SEWER GRATES, WATER VALVES, AND GAS VALVES TO THE FINISHED GRADE. IN ADDITION THE CONTRACTOR SHALL RESET ALL EXISTING SIGNS, UNLESS OTHERWISE NOTED.
- UPON AGREEMENT WITH THE COUNTY, THE CONTRACTOR WARRANTS THAT HE OR SHE HAS CAREFULLY EXAMINED THE SITE AND HAS FAMILIARIZED THEMSELVES WITH ALL THE PROVISIONS OF ALL THE CONTRACT DOCUMENTS AND THAT WHERE DRAWINGS REQUIRE A GIVEN RESULT, SUCH RESULT CAN BE PRODUCED UNDER THE TERMS OF THE DOCUMENTS.
- UPON AGREEMENT WITH THE COUNTY TO INSTALL THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE, TO HAVE READ AND BE FULLY FAMILIAR WITH THE CONTRACT DOCUMENTS. THE FAILURE OF THE CONTRACTOR TO ACQUAINT HIMSELF OR HERSELF WITH ACTUAL CONDITIONS AT THE SITE OR TO OBTAIN OR EXAMINE ANY OF THE CONTRACT DOCUMENTS, SHALL NOT RELIEVE HIM OR HER OF ANY OBLIGATIONS WITH RESPECT TO HIS OR HER OR ITS PROPOSAL. THE WORK TO BE DONE BY THE CONTRACTOR MUST BE INTEGRATED AS TO PERFORMANCE WITH THE WORK TO BE DONE UNDER OTHER CONTRACTS, IF ANY, RELATING TO THE PROJECT AND THE CONTRACTOR WILL BE REQUIRED TO DO, FURNISH, AND PERFORM ALL THINGS WHETHER OR NOT SPECIFICALLY INDICATED ON THE PLANS RELATING TO HIS, HER, OR ITS PROPOSALS NECESSARILY REQUIRED OR IMPLIED IN ORDER TO OBTAIN A COMPLETE CONDITION.
- ALL EXCESS CONSTRUCTION DEBRIS ACCUMULATED DURING THE CLEARING OF THE SITE, DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO N.J.D.E.P. APPROVED LANDFILLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TESTING REQUIREMENTS THAT MAY BE NECESSARY TO FACILITATE THE DISPOSAL OF EXCESS MATERIAL. NO ON-SITE BURIAL OF DEBRIS WILL BE ALLOWED. THE COST TO REMOVE ALL EXCESS CONSTRUCTION DEBRIS SHALL BE INCLUDED WITHIN THE BID DOCUMENTS.
- THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR THE COUNTY'S APPROVAL PRIOR TO BEGINNING WORK.
- PRIOR TO CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE SOIL CONSERVATION DISTRICT IN COMPLIANCE WITH CHAPTER 251 OF THE PUBLIC LAWS OF 1975. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE SOIL CONSERVATION DISTRICT'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY EQUIPMENT AND METHODS TO KEEP EXCAVATIONS FREE OF WATER AND PROTECT WORK FROM DAMAGE BY WATER DURING ALL STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL OPEN EXCAVATIONS AND SUBSURFACE SOILS FROM WEATHER ELEMENTS. ANY OPEN EXCAVATIONS AND SUBSURFACE SOILS IMPACTED BY WEATHER WHICH HAVE BEEN ASSUMED UNSUITABLE, SUBBASE MATERIAL SHALL BE REMOVED AND REPLACED WITH NEW SUBBASE MATERIAL AT THE COST OF THE CONTRACTOR. NO SEPARATE PAYMENT WILL BE MADE FOR PROVIDING AND MAINTAINING EQUIPMENT AND METHODS TO KEEP EXCAVATIONS DE-WATERED AND ALL COSTS THEREOF SHALL BE INCLUDED IN THE BASE BID LUMP SUM FEE FOR THIS PROJECT.
- THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN SHEETING, BRACING, SHORING AND OTHER SUPPORTS REQUIRED BY THE WORK. NO SEPARATE PAYMENT WILL BE MADE FOR PROVIDING SHEETING, BRACING, SHORING, ETC. FOR THE WORK. ALL COSTS THEREOF SHALL BE INCLUDED IN THE BASE BID LUMP SUM FEE FOR THIS PROJECT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK EFFORTS WITH THE COUNTY AND PARK MANAGER PRIOR TO CONSTRUCTION TO ENSURE ACCESS TO AND THROUGHOUT THE SITE IS MAINTAINED AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE A TEMPORARY RESTROOM FOR THE DURATION OF THE PROJECT FOR USE BY THE PUBLIC AND WORKFORCE.

APPROVED BY THE ATLANTIC COUNTY EXECUTIVE:

DENNIS LEVINSON

DATE:

No.	Date	Revision	Revised By	Checked By	
300 0 300 600 SCALE IN FEET					



BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149

COVER SHEET
ATLANTIC COUNTY - ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51, LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE: FIELD BOOK	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	SHEET: T1.0	

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES, FOUNDATIONS, VEGETATION, ABOVE AND BELOW GRADE UTILITIES, MISCELLANEOUS DEBRIS AND ALL OTHER MATERIALS AND ITEMS AS IDENTIFIED WITHIN THE DEMOLITION LIMITS.
2. EXISTING IMPROVEMENTS, LOCATED WITHIN THE PROJECT SITE, INCLUDING SIDEWALKS, FENCE, ELECTRIC SERVICE, LIGHTING, SITE AMENITIES, ETC. SHALL BE PROTECTED BY THE CONTRACTOR AND ALL EXISTING IMPROVEMENTS OR OTHER AMENITIES DISTURBED BY THEIR OPERATIONS MUST BE RESTORED AND/OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
3. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBANCE TO THE SURROUNDING PROPERTIES, NO DUST, PARTICLES OF DEBRIS OR WATER FROM THE DUST CONTROL SHALL BE PERMITTED OUTSIDE OF THE DESIGNATED WORK AREAS.
4. AT THE END OF DEMOLITION OPERATIONS INDICATED, THE CONTRACTOR SHALL INSTALL A SILT FENCE AND HAY BALE SEDIMENT BARRIERS AROUND THE PERIMETERS OF THE DEMOLITION AREAS TO MAINTAIN ADEQUATE SILT AND SOIL EROSION CONTROL AND ADEQUATE WATER DRAINAGE AROUND DEMOLITION AREA PERIMETERS, UNTIL INFILLING AND REGRADING OPERATIONS ARE COMPLETED AND THE AREA IS STABILIZED.
5. PRIOR TO COMMENCING ANY EARTHWORK AND REGRADING THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS WITHIN THE DEMOLITION LIMITS TO IDENTIFY ANY BURIED DEMOLITION DEBRIS, FOUNDATION ELEMENTS AND ABANDON UTILITIES. THE CONTRACTOR SHALL REMOVE ALL DEBRIS, INCLUDING BUT NOT LIMITED TO, FOUNDATIONS, BRICK, WOOD, CONCRETE, METAL AND ASPHALT FRAGMENTS FROM THE SITE TO AN APPROVED NJDEP LANDFILL.

1. BY SUBMITTING A BID, THE BIDDER WARRANTS THAT THEY HAVE CAREFULLY EXAMINED THE SITE AND HAS FAMILIARIZED THEMSELVES WITH ALL PROVISIONS OF THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND DRAWS. THE CONTRACT DOCUMENTS AND SPECIFICATIONS REQUIRE A GIVEN RESULT, SUCH RESULT CAN BE PRODUCED UNDER THE TERMS OF THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT THEIR WORK IN FULL ACCORDANCE WITH REQUIREMENTS OF ALL REGULATIONS AND AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL CODES, ORDINANCES, ORDERS, RULES, REGULATIONS, ORDINANCES, ORDERS, RULES, CONTROLLING OR LIMITING THE METHODS, MATERIAL TO BE USED, OR THE ACTIONS OF THOSE EMPLOYED IN WORK OF THIS KIND. ALL WORK, LABOR OR MATERIAL NECESSARY TO COMPLY WITH THESE LAWS, CODES, SPECIFICATIONS AND REGULATIONS SHALL BE PERFORMED AND FURNISHED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY EQUIPMENT AND METHODS TO KEEP EXCAVATIONS FREE OF WATER AND PROTECT WORK AND ADJACENT STRUCTURES FROM DAMAGE BY WATER DURING ALL STAGES OF THEIR ACTIVITIES. NO SEPARATE PAYMENT WILL BE MADE FOR DEWATERING OPERATIONS AND/OR SUBSURFACE SOILS THAT HAVE BEEN AFFECTED BY WEATHER AND ALL COSTS THEREOF SHALL BE INCLUDED IN THE PRICE BID FOR THIS PROJECT.
4. THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN SHEETING, BRACING, SHORING AND OTHER SUPPORTS REQUIRED BY THEIR WORK AND TO PROTECT ADJACENT STRUCTURES. NO SEPARATE PAYMENT WILL BE MADE FOR SHEETING AND ALL COSTS THEREOF SHALL BE INCLUDED IN THE PRICE BID FOR THIS PROJECT.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES TO DETERMINE THE EXACT LOCATIONS AS NECESSARY AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. UTILITY LOCATIONS SHOWN ON THESE PLANS ARE FROM ABOVE-GROUND OBSERVATIONS AND FROM RECORD INFORMATION PROVIDED BY THE UTILITY COMPANIES. IN ADDITION, THE LOCATION AND TYPE OF THE EXISTING UTILITIES SHOWN ON THESE PLANS IS NOT GUARANTEED TO BE ACCURATE NOR ALL INCLUSIVE. THE CONTRACTOR SHALL USE THE EXISTING UTILITY LOCATIONS SHOWN AS AN AID IN DETERMINING EXACT LOCATION. THE CONTRACTOR MUST CONTACT THE UTILITY COMPANIES AT 1-800-272-1000 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND ALL COSTS REQUIRED FOR NEW SERVICE CONNECTIONS, CAP DISCONNECT AND REMOVE THE EXCESS UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY AGENCY OR THE AUTHORITY HAVING JURISDICTION. IN ADDITION, IF THE EXISTING IMPROVEMENTS LOCATED WITHIN THE PROJECT ARE DISTURBED BY THE CONTRACTOR OR THE UTILITY COMPANIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE IMPROVEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER.
3. IF ANY UTILITY FACILITIES, INCLUDING DISTRIBUTION MAINS OR SERVICES FOR ADJACENT STRUCTURES OR PROPERTIES, ARE DISRUPTED OR DAMAGED DURING THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE UTILITY FACILITIES TO THE END OF THE WORKING DAY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION, INSTALLATION AND PROTECTION OF ALL UTILITIES REQUIRED FOR THIS PROJECT, INCLUDING POWER, WATER, AND SEWER SERVICES. ALL COSTS FOR THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THIS PROJECT.

[illegible]

CONC.	CONCRETE
L.P.	LIGHT POST
UP	UTILITY POLE
UTIL.	UTILITY
ELEC.	ELECTRICAL
SAN.	SANITARY
TEL.	TELEPHONE
FND.	FOUND
WV	WATER VALVE
GV	GAS VALVE
HYD	FIRE HYDRANT
DEP.	DEPRESSED
TRANS.	TRANSFORMER
GFN	GENERATOR

	BUILDING REMOVAL
	TREE PROTECTION
	SITE IMPROVEMENT REMOVAL/REPLACEMENT
	SAWCUT
	LAWN AND SOIL REMOVAL

No.	Date	Revision		Revised By	Checked By

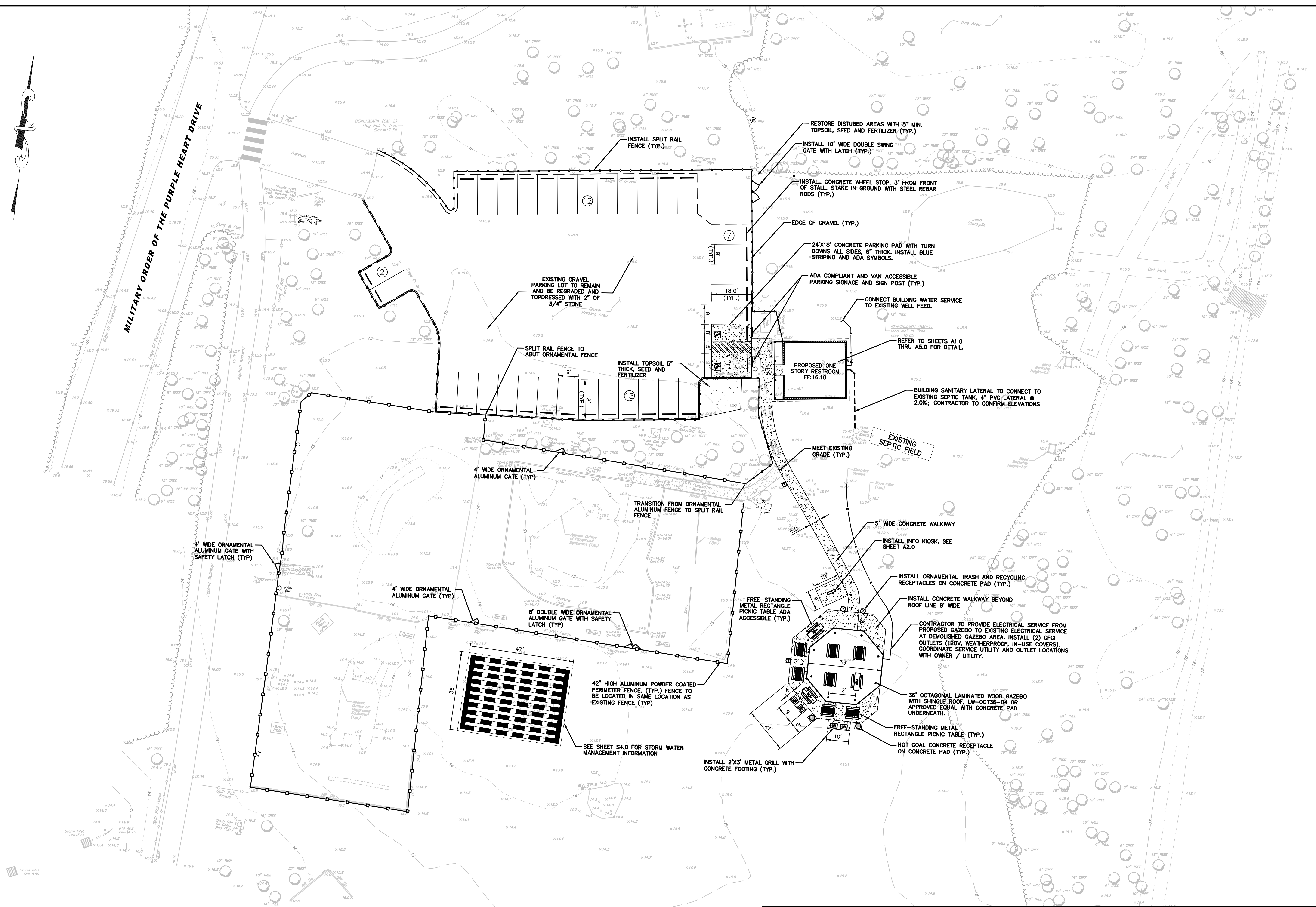
20 0 20 40

SCALE IN FEET



BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE: 1"=20'	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	FIELD BOOK	SHEET: S2.0

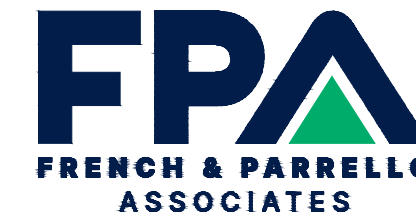


LEGEND

- ALUMINUM ORNAMENTAL FENCE
 WOODEN SPLIT RAIL FENCE

No.	Date	Revision						Revised By	Checked

SCALE IN FEET



Corporate Office:
1800 Route 34, Suite 101
Wall Township, NJ 07719
732.312.9800

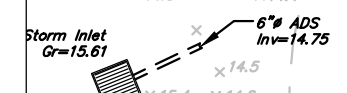
fpaengineers.com

SITE PLAN

**ATLANTIC COUNTY - ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51, LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY**

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE: 1"=20'	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	FIELD BOOK	SHEET: S3.0

BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149



1. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT TOPOGRAPHIC SURVEY WITH SPOT GRADES FOR ALL ADA PARKING AREAS, LOADING AREAS, AND WALKWAYS TO ENSURE COMPLIANCE WITH THE ADA STANDARDS.

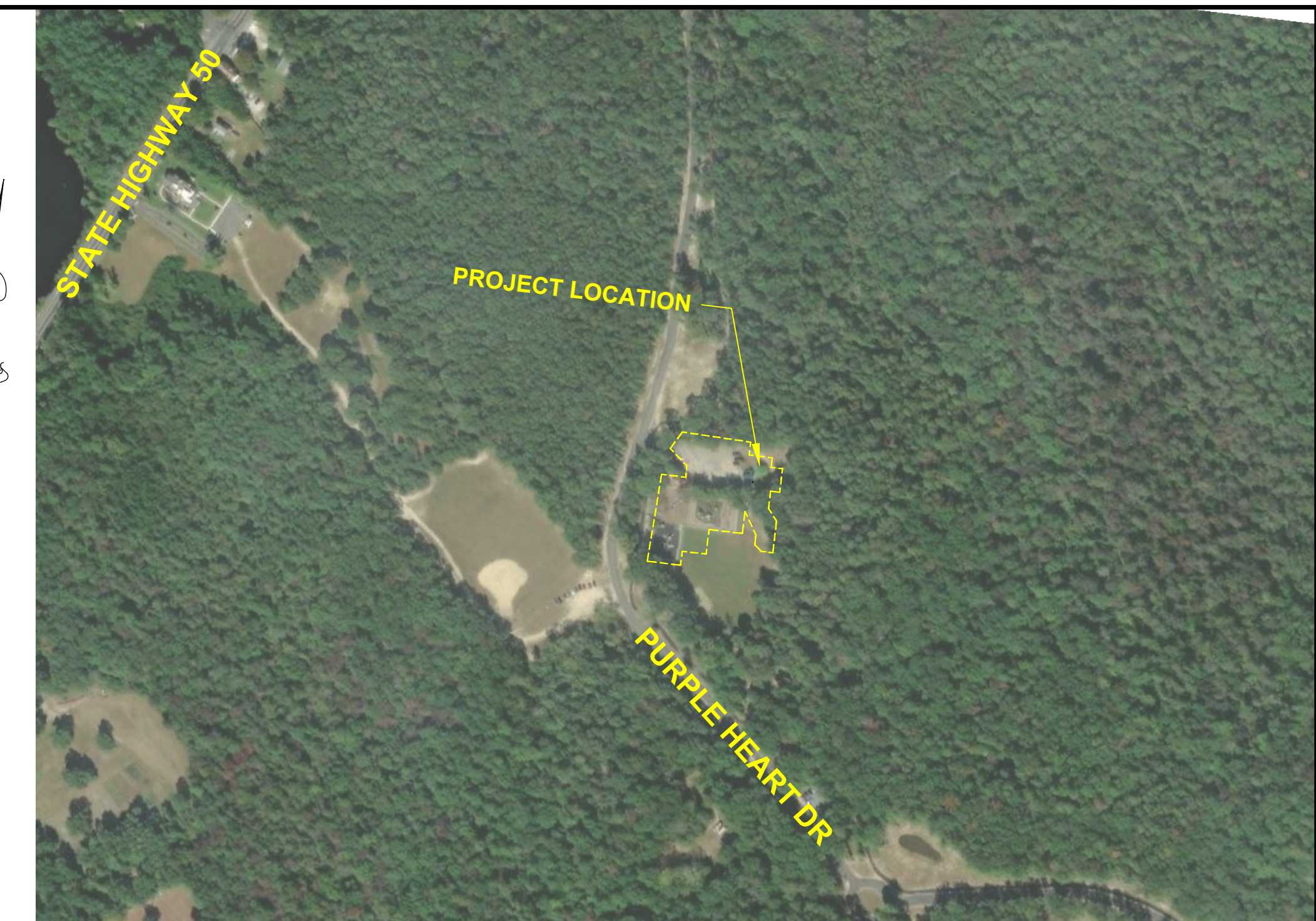


FPA
FRENCH & PARRELLO
ASSOCIATES

GRADING AND DRAINAGE PLAN
ATLANTIC COUNTY - ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51, LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE: 1" = 20'	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	FIELD BOOK	SHEET: S4.0

BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149



LEGEND:

■ ■ ■ LIMIT OF DISTURBANCE

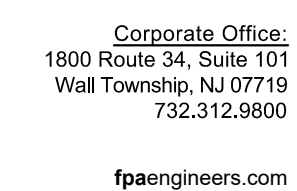
— * — SILT FENCE

○ TREE PROTECTION

No.	Date	Revision						Revised By	Checked

30 0 30 60

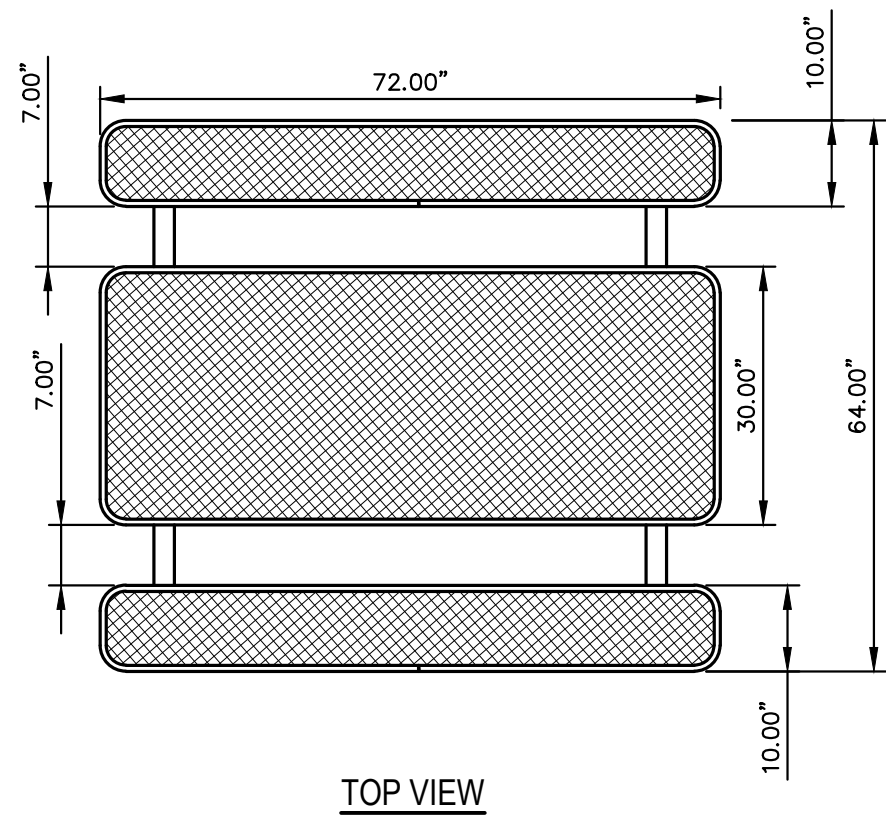
 SCALE IN FEET



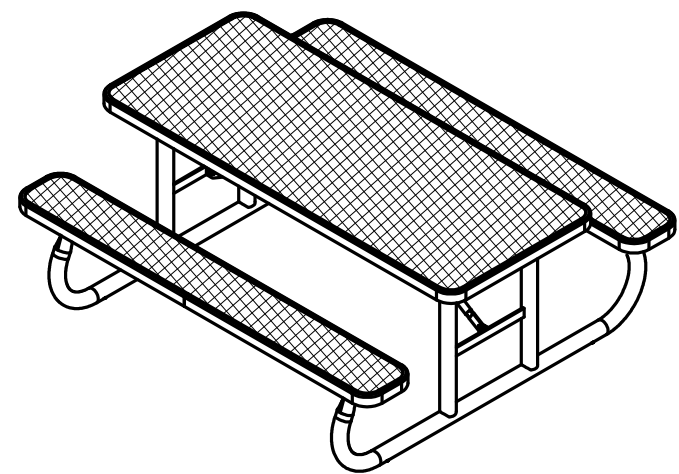
BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE: 1" = 30'	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	FIELD BOOK	SHEET: S5.0

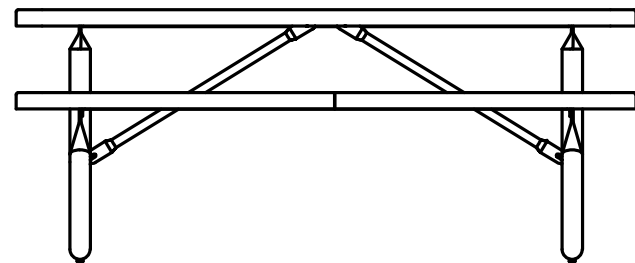
C:\3K\3500\3581 - Atlantic County Facilities Engineering Pool\3581\027 - Estell Manor Park Bath House\CADD\DWG\3581\027 - CD.dwg CD2



TOP VIEW



ISOMETRIC VIEW



FRONT ELEVATION

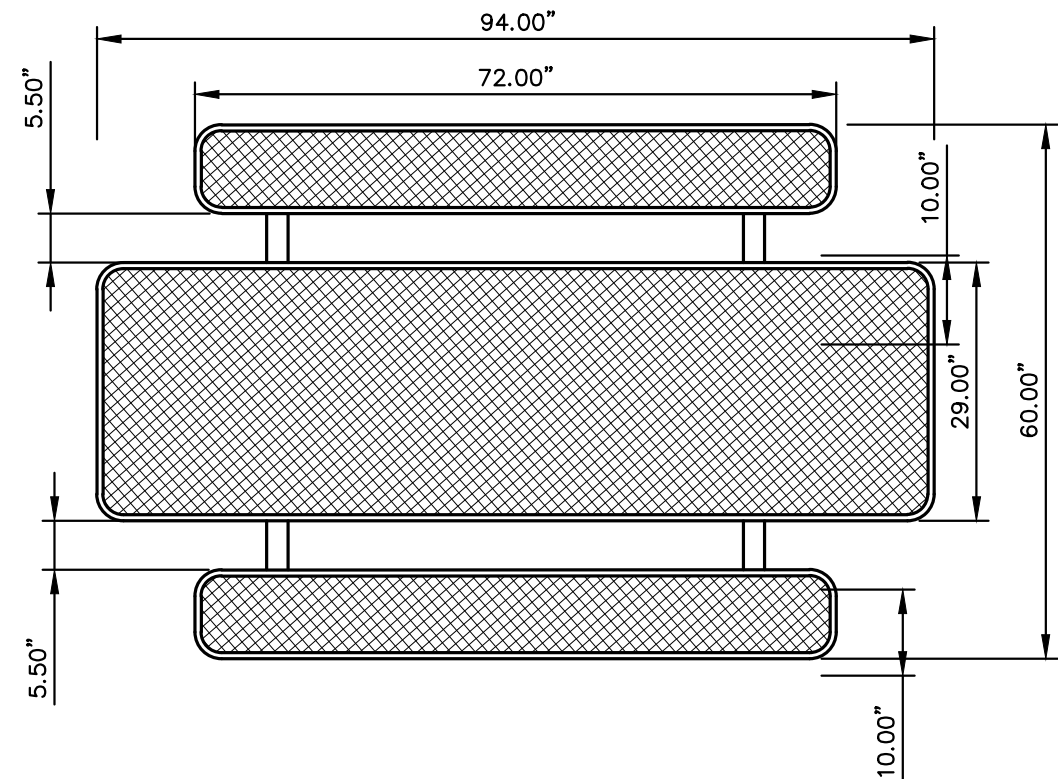
NOTE:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO ORDERING ANY MATERIALS.

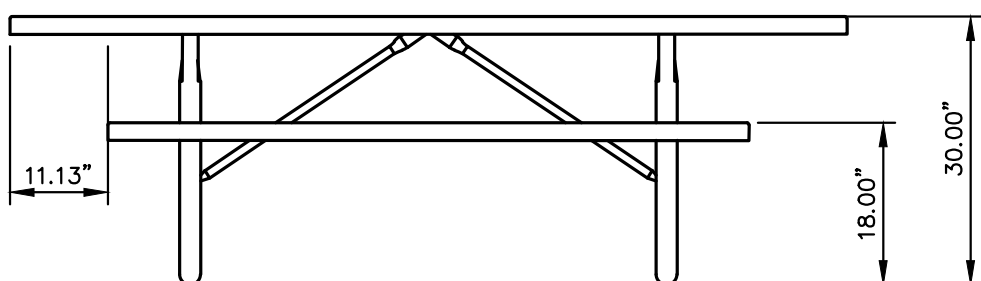
MODEL: RECTANGLE PORTABLE PICNIC TABLE PARKTASTIC
PRODUCT NO.: 766PT100-206
MANUFACTURER: PARK WAREHOUSE OR AN APPROVED EQUAL

FREE-STANDING METAL RECTANGLE PICNIC TABLE DETAIL

NOT TO SCALE



TOP VIEW



FRONT ELEVATION

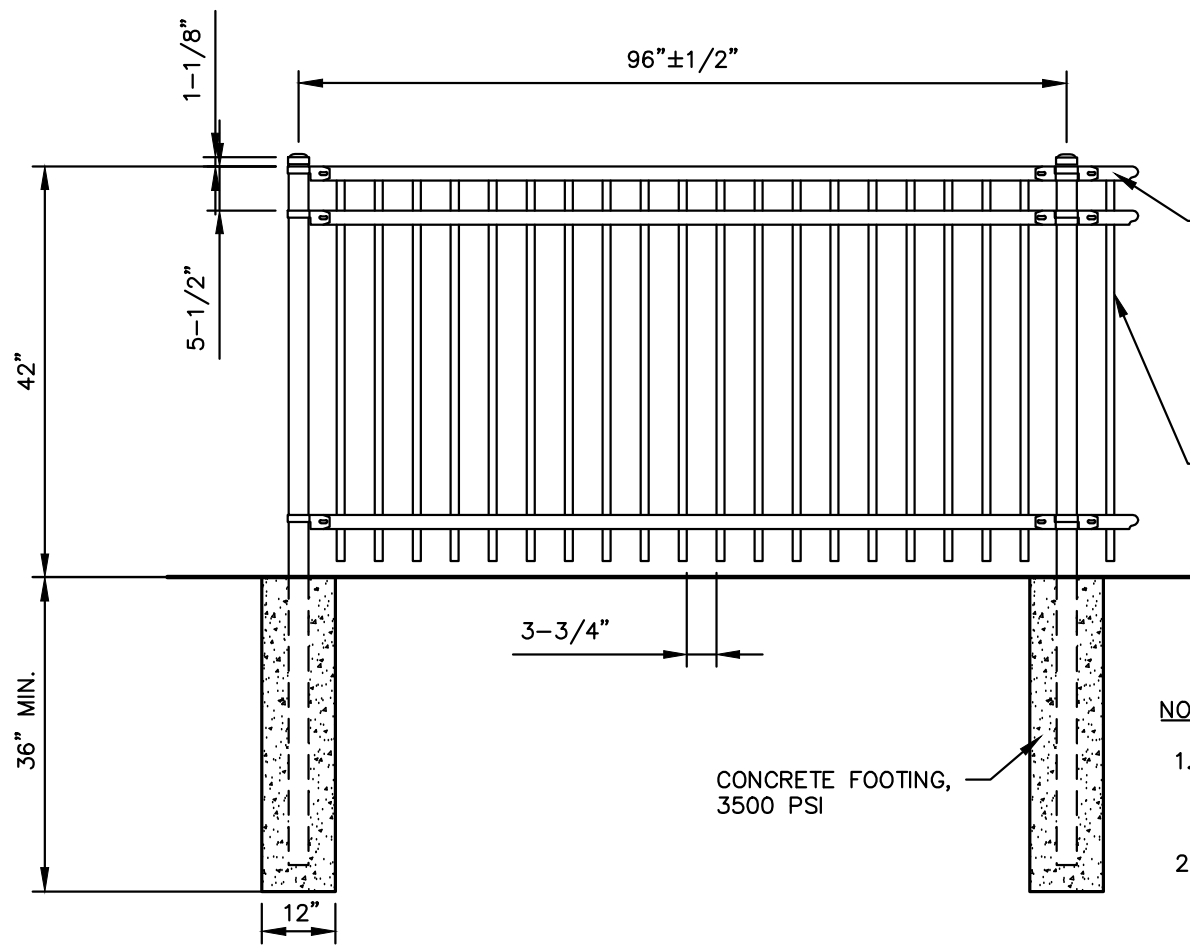
NOTE:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO ORDERING ANY MATERIALS.

MODEL: RECTANGLE PORTABLE PICNIC TABLE PARKTASTIC
PRODUCT NO.: 766PT100 - ACCESSIBLE ALT
MANUFACTURER: PARK WAREHOUSE OR AN APPROVED EQUAL

FREE-STANDING METAL RECTANGLE PICNIC TABLE ADA ACCESSIBLE DETAIL

NOT TO SCALE



NOTES:

1. LOWER TOP OF POST FOOTING AS NECESSARY TO ALLOW FOR FINISH PAVING OR MOW STRIP
2. USE FLAT MOUNT BRACKET

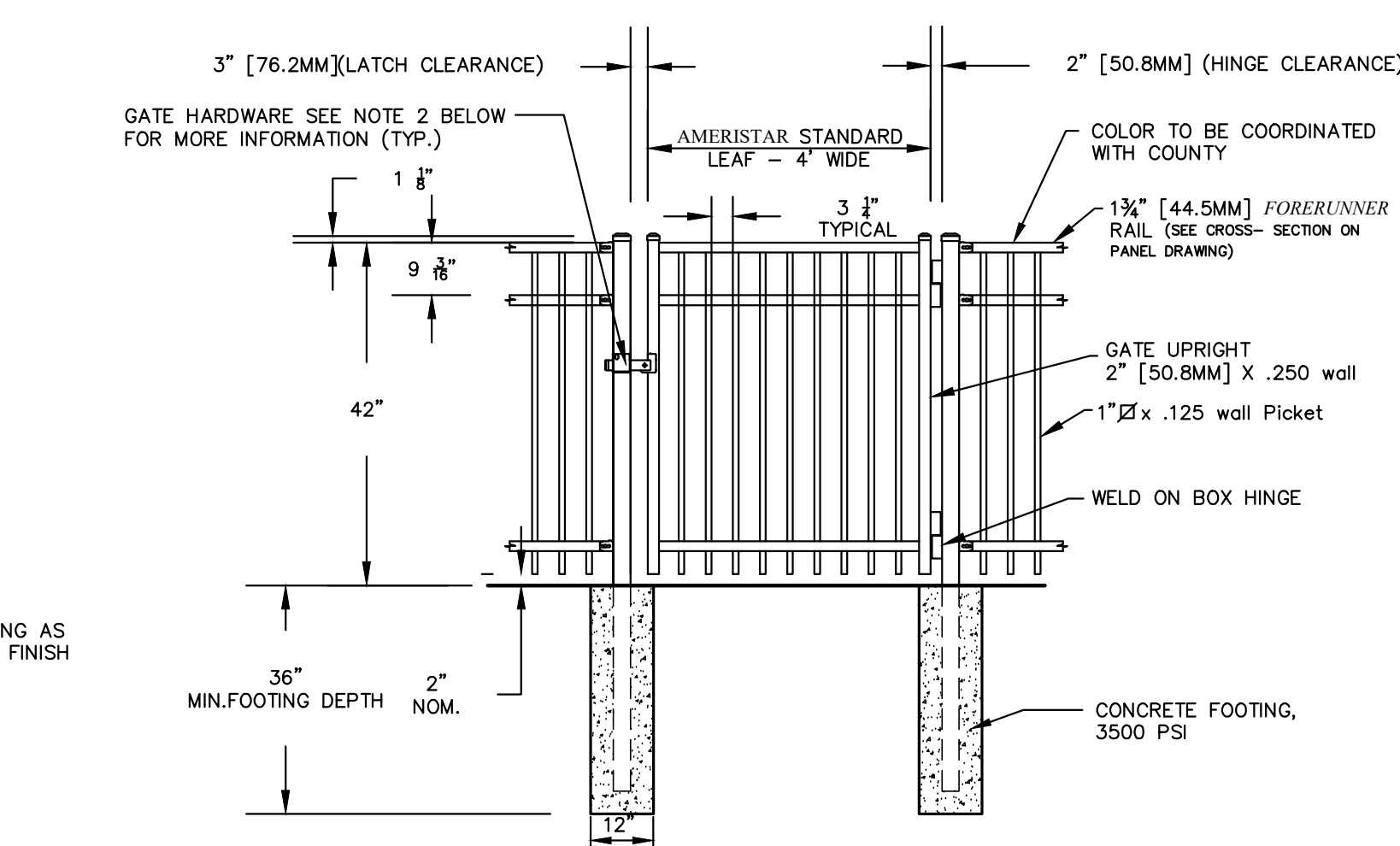
FENCE NOTES:

1. CONTRACTOR TO SUBMIT COLOR SAMPLES OF THE ACTUAL MATERIAL FOR THE OWNERS REVIEW AND APPROVAL PRIOR TO ORDERING.
2. THE CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE OWNER PRIOR TO PURCHASE OF THE MATERIALS. COLOR TO BE SELECTED BY THE OWNER FROM THE FULL RANGE OF COLORS PROVIDED BY THE MANUFACTURER FOR THE MODEL OF FENCE SHOWN ABOVE.

FENCE MODEL NO.: ECHELON II PANEL MAJESTIC, 3 RAIL 48" HIGH
MFR.: AMERISTAR OR AN APPROVED EQUAL

ORNAMENTAL PLAYGROUND FENCE DETAIL

NOT TO SCALE



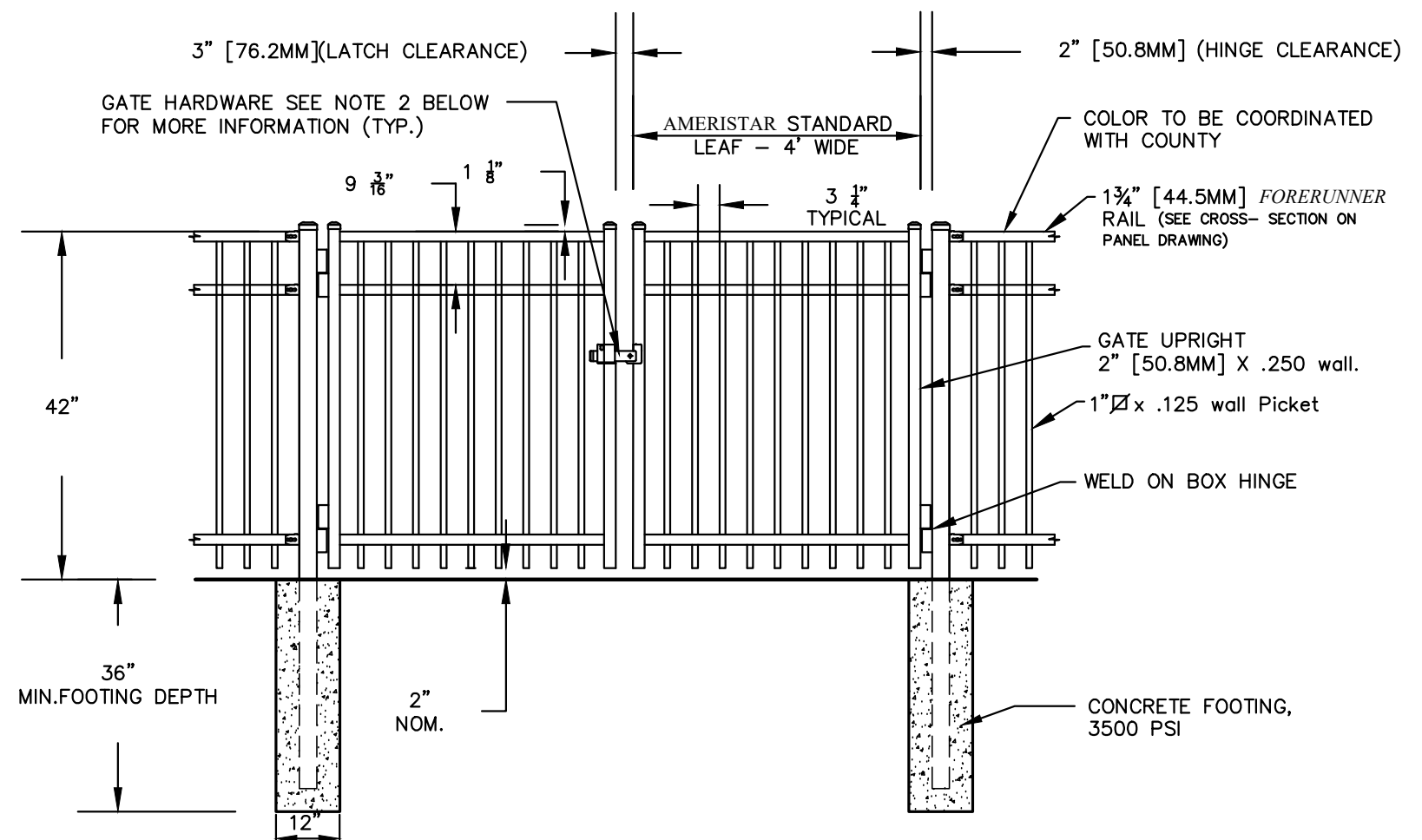
FENCE NOTES:

1. THE CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE OWNER PRIOR TO PURCHASE OF THE MATERIALS. COLOR TO BE SELECTED BY THE OWNER FROM THE FULL RANGE OF COLORS PROVIDED BY THE MANUFACTURER FOR THE MODEL OF FENCE SHOWN ABOVE.
2. SWING GATE HARDWARE
 - I. PROVIDE MEANS OF EMERGENCY OPERATION OF ALL GATES IN A MANNER ACCEPTABLE TO LOCAL EMERGENCY RESPONDERS.
 - II. PERSONNEL GATES: MINIMUM TWO NON-REMOVABLE HINGES PER LEAF.
 - III. EXIT GATES: PROVIDE EMERGENCY EGRESS UL-LISTED EXIT DEVICES ON EACH LEAF. PROVIDE HEAVY-GAUGE MATCHING MOUNTING PLATES, STRIKE PLATE RECEIVER MOUNTING POINTS, AND TAMPER-PROOF SHIELD TO PREVENT THE EMERGENCY EGRESS HARDWARE FROM BEING MANIPULATED FROM THE EXTERIOR.
- A. PROVIDE 2" X 10" X 3/16" STEEL TUBE MOUNTING PLATES INTEGRAL WITH AND WELDED TO PICKETS AND FRAME FOR EXIT DEVICE AND LATCH.
- B. PROVIDE PERFORATED STEEL SHEET SHIELD OVER GATE AND ADJACENT PANELS MINIMUM 3'-0" FROM GATE ON EACH SIDE. BASIS OF DESIGN: MCNICHOLS #1698001141, WITH HEMMED EDGING. POWDER COATED MESH TO MATCH FENCE COLOR.
- C. INTEGRATE EXIT DEVICES WITH SECURITY GATE SYSTEMS AND HARDWARE WHERE PROVIDED.

FENCE MODEL NO.: ECHELON II PANEL MAJESTIC, 3 RAIL SINGLE GATE WITH RINGS
MFR.: AMERISTAR OR AN APPROVED EQUAL

**4' WIDE ORNAMENTAL
PLAYGROUND GATE DETAIL**

NOT TO SCALE



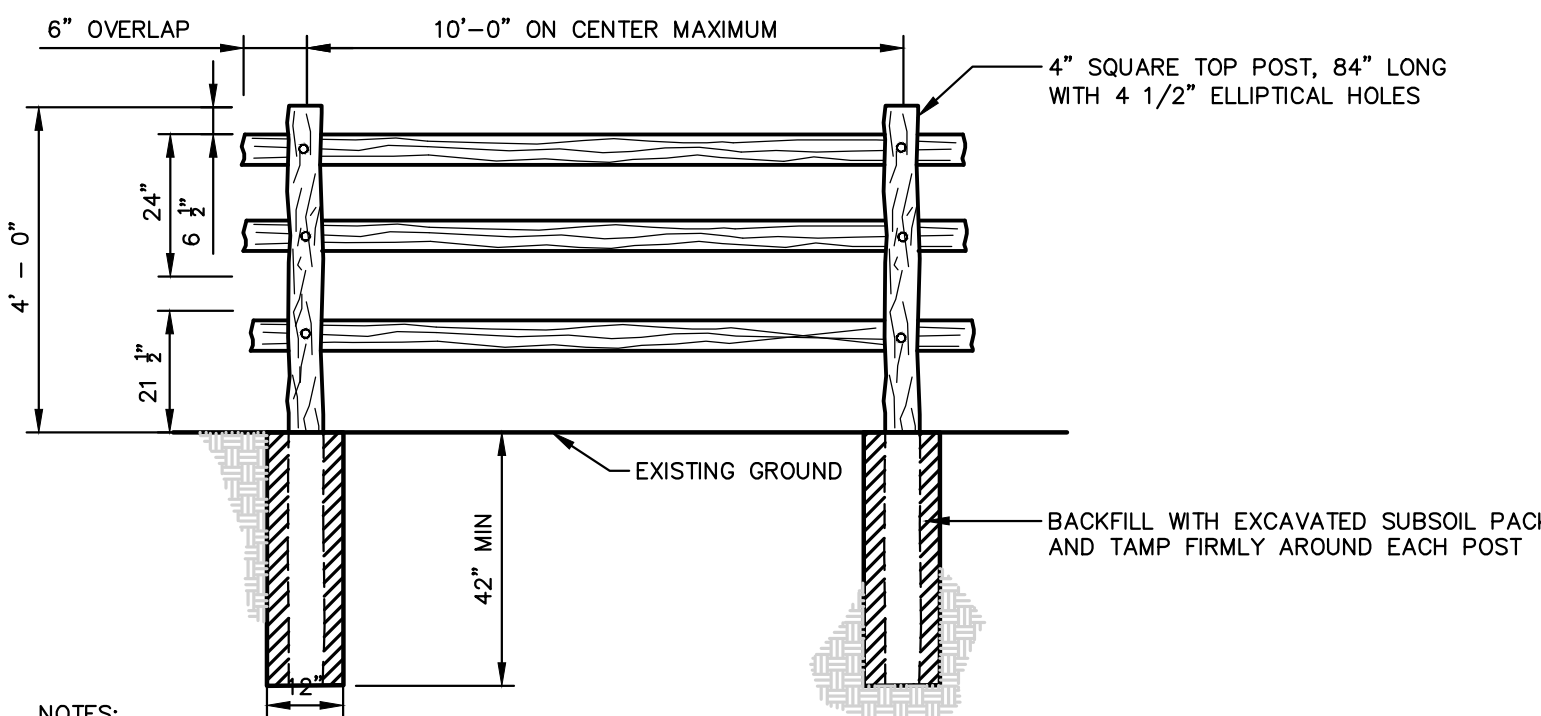
FENCE NOTES:

1. THE CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE OWNER PRIOR TO PURCHASE OF THE MATERIALS. COLOR TO BE SELECTED BY THE OWNER FROM THE FULL RANGE OF COLORS PROVIDED BY THE MANUFACTURER FOR THE MODEL OF FENCE SHOWN ABOVE.
2. SWING GATE HARDWARE
 - I. PROVIDE MEANS OF EMERGENCY OPERATION OF ALL GATES IN A MANNER ACCEPTABLE TO LOCAL EMERGENCY RESPONDERS.
 - II. PERSONNEL GATES: MINIMUM TWO NON-REMOVABLE HINGES PER LEAF.
 - III. EXIT GATES: PROVIDE EMERGENCY EGRESS UL-LISTED EXIT DEVICES ON EACH LEAF. PROVIDE HEAVY-GAUGE MATCHING MOUNTING PLATES, STRIKE PLATE RECEIVER MOUNTING POINTS, AND TAMPER-PROOF SHIELD TO PREVENT THE EMERGENCY EGRESS HARDWARE FROM BEING MANIPULATED FROM THE EXTERIOR.
- A. PROVIDE 2" X 10" X 3/16" STEEL TUBE MOUNTING PLATES INTEGRAL WITH AND WELDED TO PICKETS AND FRAME FOR EXIT DEVICE AND LATCH.
- B. PROVIDE PERFORATED STEEL SHEET SHIELD OVER GATE AND ADJACENT PANELS MINIMUM 3'-0" FROM GATE ON EACH SIDE. BASIS OF DESIGN: MCNICHOLS #1698001141, WITH HEMMED EDGING. POWDER COATED MESH TO MATCH FENCE COLOR.
- C. INTEGRATE EXIT DEVICES WITH SECURITY GATE SYSTEMS AND HARDWARE WHERE PROVIDED.

FENCE MODEL NO.: ECHELON II PANEL MAJESTIC, 3 RAIL DOUBLE GATE WITH RINGS
MFR.: AMERISTAR OR AN APPROVED EQUAL

**8' DOUBLE WIDE ORNAMENTAL
PLAYGROUND GATE DETAIL**

NOT TO SCALE



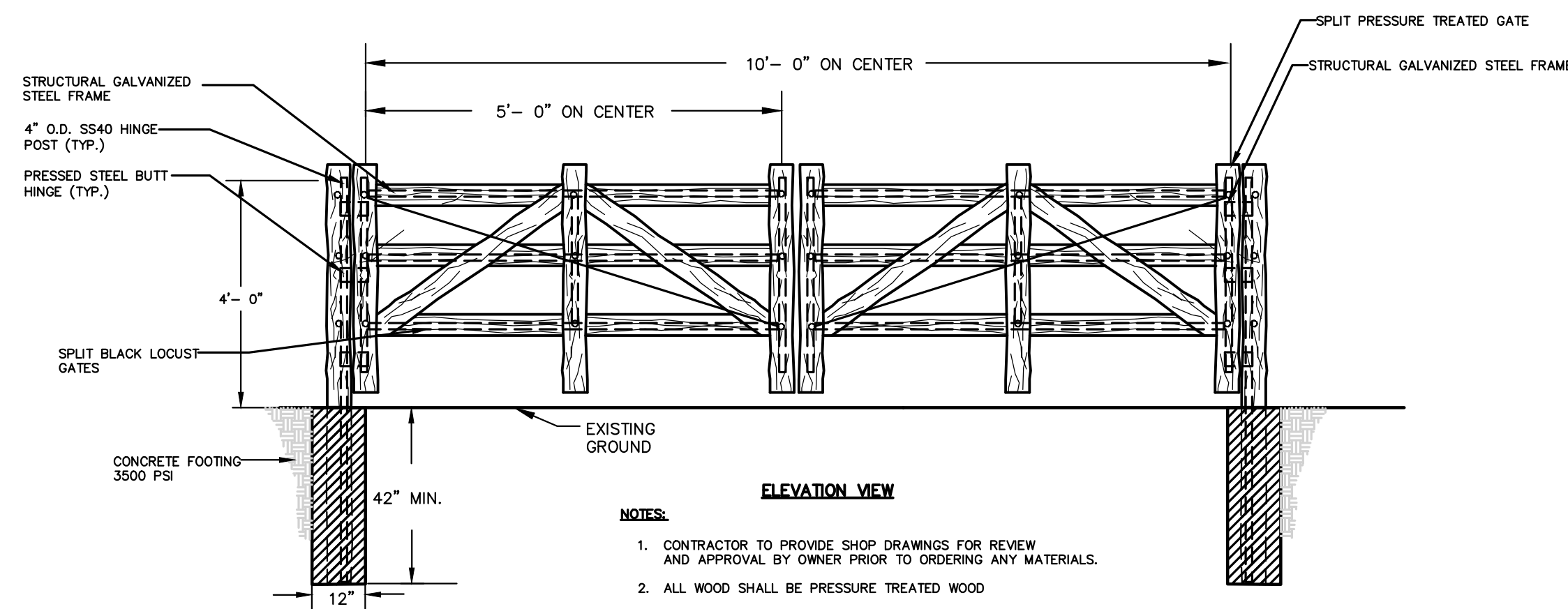
NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO ORDERING ANY MATERIALS.
2. ALL WOOD POST SHALL BE BLACK LOCUST
3. ALL WOOD RAILS SHALL BE PRESSURE TREATED
4. ALL NAILS SHALL BE HOT DIPPED GALVANIZED
5. ALL WOOD TO HAVE "RUSTIC" FINISH
6. EACH END POST SHALL HAVE A 1'-0" SPACER RAIL IN EACH ELLIPTICAL HOLE, WEDGED ADJACENT TO END OF EACH 11'-0" RAIL
7. EACH POST SHALL HAVE A GALVANIZED STAPLE EMBEDDED IN ITS TOP

FENCE MODEL: 3 RAILED SPLIT LOCUST POST AND RAIL SYSTEM OR APPROVED EQUAL
MFR.: SPLIT RAIL FENCE STORE OR APPROVED EQUAL

SPLIT RAIL FENCE DETAIL

NOT TO SCALE



ELEVATION VIEW

NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO ORDERING ANY MATERIALS.
 2. ALL WOOD SHALL BE PRESSURE TREATED WOOD
 3. THE CONTRACTOR TO SUPPLY AND INSTALL A GALVANIZED LATCH AND A DROP BAR. THE COST IS TO BE INCORPORATED WITHIN THIS BID ITEM.
 4. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ALL THE (2) GATE PANELS AND ALL THE GATE HARDWARE REQUIRED TO CONSTRUCT A WORKING 10' WIDE GATE. ALL COSTS ARE TO BE INCORPORATED WITHIN THIS BID ITEM.
- GATE MODEL: 60" SPLIT RAIL GATE OR APPROVED EQUAL
MANUFACTURED BY: SPLIT RAIL FENCE STORE OR APPROVED EQUAL

10' WIDE DOUBLE SWING GATE DETAIL

NOT TO SCALE

No.	Date	Revision	Revised By	Checked By	
SCALE IN FEET					



New Jersey ▲ New York ▲ Pennsylvania ▲ Massachusetts

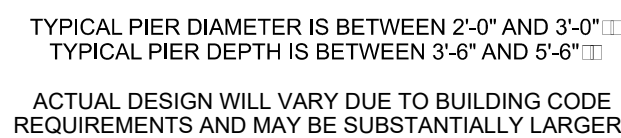
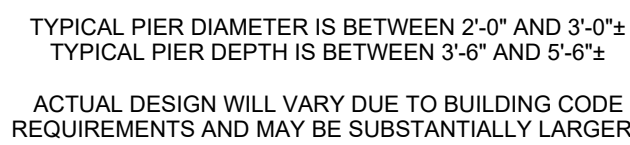
BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149

Corporate Office:
1800 Route 34, Suite 101
Wall Township, NJ 07719
732.312.9800

fpaengineers.com

CONSTRUCTION DETAILS 2
ATLANTIC COUNTY - ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51, LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE:	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	FIELD BOOK	SHEET: C2.0



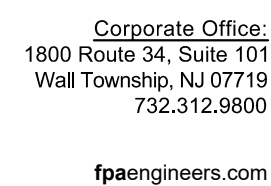
These drawings are preliminary in design and are subject to change pending final engineering. All member sizes, dimensions, quantities, and locations have the potential to be altered. Only use the final engineered drawings when performing the construction of this structure.

PAVILION MODEL NO.: LW-OCT36-04
MANUFACTURER: RCP SHELTERS, INC. OR APPROVED EQUAL

THE PREFABRICATED LAMINATED WOOD GAZEBO STRUCTURE WITH SINGLE ROOF DETAIL IS A CONCEPTUAL-PRELIMINARY DETAIL OF THE PREFABRICATED GAZEBO STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SIGNED AND SEALED SHOP DRAWINGS BY A LICENSED ENGINEER IN THE STATE OF CALIFORNIA FOR THE GAZEBO STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOWING ON THIS DETAIL, IN THE SPECIFICATIONS AND AS REQUIRED BY ALL CURRENT BUILDING CODES. THE CONTRACTOR WILL SUBMIT FIVE SIGNED AND SEALED DRAWING SETS TO INCLUDE BUT NOT BE LIMITED TO: FIVE (5) SETS OF SHOP DRAWINGS, FIVE (5) SETS OF CONSTRUCTION DRAWINGS AND FIVE (5) SETS OF SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS TO THE MANUFACTURER OF THE GAZEBO STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE GAZEBO STRUCTURE DESIGN DOCUMENTS TO ACCOMMODATE THE REQUIREMENTS OF THE OWNER. THE CONTRACTOR WILL SUBMIT SIGNED AND SEALED DRAWINGS FOR APPROVAL BY OWNER, ENGINEER AND LOCAL AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY JURISDICTION OVER THIS WORK, FROM ORDERING MATERIALS AND COMMENCING WITH WORK.

No.	Date	Revision	Revised By	Checked By


 SCALE IN FEET



BRIAN R. DECINA, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. No. GE45149

DATE: 4/2/2026	DESIGNED BY: TLV	SCALE:	PROJECT NUMBER: 3581.027
DRAWN BY: TLV	CHECKED BY: BRD	FIELD BOOK	SHEET: C6.0

- CS - COVER SHEET
- G1.1 - SHEET SPECS, GENERAL
NOTES, SYMBOLS, ETC. LIFE
SAFETY INFO / PLANS
- G1.2 - ADA FIGURES
- G1.3 - ADA FIGURES
- G1.4 - ADA FIGURES
- D1.0 - DEMO PLAN
- A1.0 - FLOOR & FRAMING PLANS
- A2.0 - BUILDING ELEVATIONS
- A3.0 - BUILDING SECTIONS & DETAILS
- A4.0 - BUILDING SECTIONS & ROOF
DETAILS
- A5.0 - RESTROOM ELEVATIONS

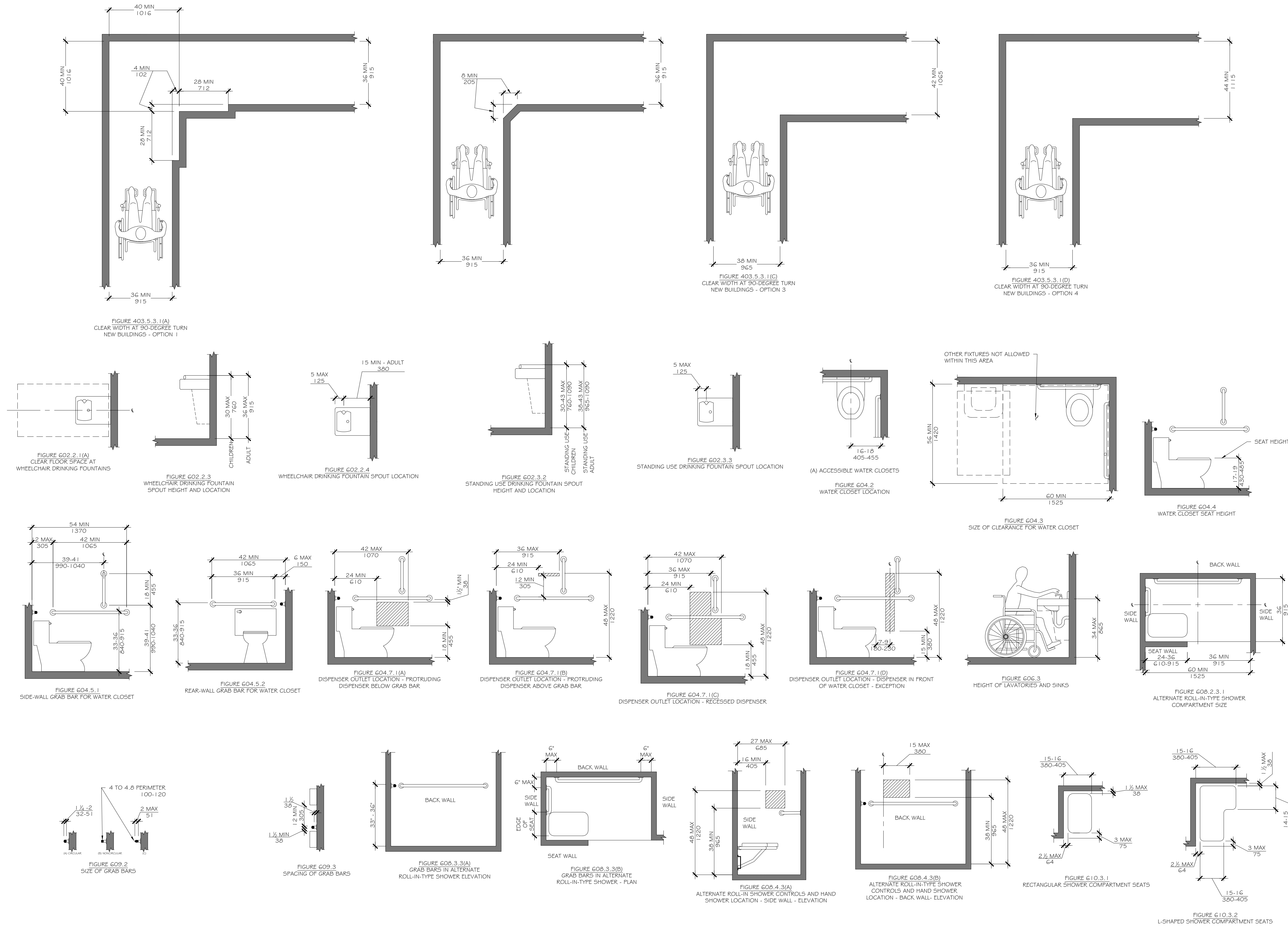
- CONTRACTOR SHALL FURNISH CERTIFICATES OF INSURANCE PRIOR TO COMMENCING ANY WORK. ALL CERTIFICATES SHALL SHOW A TEN-DAY CANCELLATION NOTICE SENT TO THE OWNER. THE LIABILITY POLICY SHALL BE ENDORSED WITH THE OWNER SHOWN AS ADDITIONAL INSURED FOR DEPENDENT CONTRACTORS. THE INSURANCES SHALL COVER GENERAL LIABILITY AND COMPLETED WITH BODILY AND PROPERTY COVERAGES TO INCLUDE VEHICLES. WORKMEN'S COMPENSATION INSURANCE SHALL BE STATUTORY AMOUNTS. OWNER WILL FURNISH SAMPLE OF INSURANCE WITH \$5 MILLION POLICY.
- BUILDING PERMIT BY OWNER ONLY. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS AND LICENSES REQUIRED FOR CONSTRUCTION OF THE WORK. CONTRACTOR SHALL EXECUTE AND FILE AN APPROVED WAIVER OF LIENS AT LEAST FORTY-EIGHT HOURS PRIOR TO THE BEGINNING OF ANY WORK ON SITE AND DELIVER TO THE OWNER A SIGNED FORM OF RECEIPT FROM THE OFFICE OF THE COUNTY PROTHONOTARY AS EVIDENCE OF FILING SUCH DOCUMENT. ALL DOCUMENTS MUST GO THROUGH OWNER.
- CONTRACTOR SHALL COORDINATE HIS WORK AND ALL HIS SUBCONTRACTOR'S WORK WITH OWNER WHERE CONSTRUCTION OPERATIONS REQUIRE. ALL EXISTING SERVICE LINES, CONSTRUCTION, STRUCTURES, ETC. TO REMAIN SHALL BE ADEQUATELY PROTECTED. THE CONTRACTOR SHALL BE REQUIRED TO REIMBURSE THE OWNER FOR ANY DAMAGE WHERE THE CONTRACTOR, HIS SUBCONTRACTOR, EMPLOYEES, ETC. HAVE BEEN RESPONSIBLE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK AND SHALL SET ALL LINES AND LEVELS REQUIRED.
- CONTRACTOR SHALL MAINTAIN THE SITE OF CONSTRUCTION IN A CLEAN AND ORDERLY MANNER.
- PAYMENTS TO CONTRACTOR BY THE OWNER SHALL BE MADE ON THE VALUATION OF THE WORK DONE AND ACCEPTABLE MATERIALS PROPERLY STORED ON THE SITE EACH MONTH LESS 10% RETAINED UNTIL FINAL PAYMENT BY THE OWNER.
- BEFORE RECEIPT OF FINAL PAYMENT, CONTRACTOR SHALL DELIVER TO THE OWNER A LETTER OF GUARANTEE TO MAKE GOOD ANY AND ALL DEFECTIVE WORKMANSHIP OR MATERIALS AS COVERED IN THE CONTRACT THAT MAY OCCUR WITHIN ONE YEAR UNLESS A LONGER PERIOD IS SPECIFIED FOR A PARTICULAR MATERIAL, ETC. FROM THE DATE OF FINAL COMPLETION. MUST ALSO SUBMIT CONTACT INFORMATION OF ALL SUBCONTRACTORS USED FOR THIS PROJECT, ALONG WITH OPERATIONS & MAINTENANCE MANUAL.
- CONTRACTOR SHALL INSTALL PROTECTION TO INSURE THE SAFETY OF PERSONS IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
- SITE SHALL BE CLEAN UPON COMPLETION OF CONSTRUCTION WORK. REMOVE ALL DEBRIS AND UNUSED MATERIAL.
- THE HEREINAFTER SPECIFICATION AND OTHER SPECIFICATIONS, NOTES, REQUIREMENTS, ETC. ON ANY AND ALL DRAWINGS INDICATE THE GENERAL REQUIREMENTS FOR THE WORK PROVIDED. INSTALL ALL MATERIALS, DEVICES, ETC. NECESSARY AND REQUIRED TO COMPLETELY CONSTRUCT ALL WORK SHOWN ON THE DRAWINGS, NOTED, INDICATED AND SPECIFIED HEREIN. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL SYSTEMS, ETC., THEY PROVIDE. SEE DRAWINGS FOR ADDITIONAL SPECIFICATIONS WHICH MAY OCCUR AND ARE NOT OR ONLY PARTIALLY COVERED WITHIN THE HEREINAFTER SPECIFICATIONS. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THIS WORK. ALL DISCREPANCIES OR UNUSUAL CONDITIONS SHALL BE REPORTED IMMEDIATELY TO RZ ARCHITECTURE FOR ADJUSTMENTS OR DIRECTIONS.
- "RZ ARCHITECTURE HAS PREPARED THE DRAWINGS AND SPECIFICATIONS SOLELY FOR THE PROJECT. RZ ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE USE OF THE DRAWINGS AND SPECIFICATIONS UNDER ANY OTHER CIRCUMSTANCES, ANY REUSE NOT FOR THE SPECIFIC PURPOSE INTENDED AND WITHOUT WRITTEN APPROVAL BY RZ ARCHITECTURE WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO RZ ARCHITECTURE AND THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS RZ ARCHITECTURE FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING LEGAL FEES AND OTHER COSTS OF DEFENSE ARISING OUT OF OR RESULTING THEREFROM."
- "THE OWNER SHALL BE PERMITTED TO RETAIN COPIES OF DRAWINGS AND SPECIFICATIONS PREPARED IN CAD FORMAT FOR THE OWNER'S INFORMATION IN ITS USE FOR THE PROJECT. DUE TO THE POTENTIAL THAT THIS INFORMATION CAN BE MODIFIED UNINTENTIONALLY OR OTHERWISE, RZ ARCHITECTURE RESERVES THE RIGHT TO REMOVE ALL INDICATIONS OF ITS OWNERSHIP AND/OR INVOLVEMENT FROM EACH ELECTRONIC DISK OR THUMB DRIVE".
- THE GROUNDS INCLUDING LAWNS, SHRUBS AND PLAY EQUIPMENT WILL BE PROTECTED FROM ALL DAMAGE. ALL WHICH IS DAMAGED WILL BE REPAIRED TO THE SATISFACTION OF THE OWNER.
- ALL CONTRACTORS ARE ADVISED TO VISIT THE SITE AND VERIFY ALL AREAS AND CONDITIONS PRIOR TO SUBMITTING THEIR BIDS. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS IN WRITING AT LEAST SEVEN (7) DAYS PRIOR TO THE RECEIPT OF BIDS. FAILURE TO NOTIFY THE ARCHITECT INDICATES THAT ANY ADDITIONAL COSTS ASSOCIATED WITH THE DISCREPANCIES AND/OR OMISSIONS ARE INCLUDED IN THE CONTRACTOR'S BID AND THAT NO CHANGE TO THE CONTRACT AMOUNT WILL BE MADE AFTER THE RECEIPT OF THE BIDS OR THE AWARD OF CONTRACTS.
- ALL PLUMBING, MECHANICAL, OR ELECTRICAL DISCONNECTS SHALL BE MADE BY THE RESPECTIVE TRADES. ALL EQUIP., DEVICES, FIXTURES, ETC. SHALL BE REMOVED BY THE GENERAL CONTRACTOR. ALL RECYCLABLES SHALL BE MANAGED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS TO THE MAXIMUM EXTENT POSSIBLE. ANY METAL POTENTIALLY CONTAINING LEAD DUST (I.E. THE EXHAUST FAN AND THE DUCT) MUST BE HANDLED ACCORDINGLY, ALL OTHER METAL SHALL BE RECYCLED.
- UNLESS NOTED OTHERWISE ALL DEMOLITION MATERIAL SHALL BE REMOVED OFF SITE BY THE G.C. AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN CUTTING AND PATCHING.
- THE G.C. SHALL PROVIDE A PHYSICAL BARRIER TO CONTAIN DUST AND DIRT AROUND THE DEMOLITION AREA AND SHALL MAKE EVERY EFFORT TO KEEP THE DEMOLITION SITE AND SURROUNDING AREAS AS CLEAN AS POSSIBLE.
- NO DEMOLITION SHALL BEGIN UNTIL PROPER PROTECTION IS IN PLACE AND APPROVED BY ARCHITECT & CONSTRUCTION MANAGER TO ENSURE THE SAFETY OF THE PUBLIC, STAFF, AND CONSTRUCTION WORKERS AND TO CONTAIN DUST AND DIRT WITHIN THE AREA OF DEMOLITION.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REGARDING THE REMOVAL AND DISPOSAL OF ALL MATERIALS & EQUIPMENT.
- WHEN PREPARING THEIR BIDS, CONTRACTORS MUST REFER TO THE FULL SET OF CONSTRUCTION DOCUMENTS FOR VARIOUS MISCELLANEOUS ITEMS WHICH MUST BE REMOVED AND/OR RELOCATED AS PART OF THE WORK.
- DO NOT SCALE THE DRAWINGS.
- DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- THE CONTRACTOR IS RESPONSIBLE TO SECURE AND PAY FOR ALL PERMITS. TO OBTAIN APPROVALS AS REQUIRED AND TO COORDINATE INSPECTION WITH LOCAL BUILDING INSPECTOR.
- DRAWINGS AND SPECIFICATIONS COMPLIMENT EACH OTHER WORK NOT SHOWN ON DRAWING BUT CALLED FOR IN THE SPECIFICATIONS IS STILL REQUIRED; AND ALL WORK NOT CALLED FOR IN SPECIFICATIONS, BUT CALLED OUT OR SHOWN IN DRAWINGS IS STILL REQUIRED.

	DOOR SYMBOL		VOID	Elevation No.	
	WINDOW SYMBOL		A-#.	Sheet No.	
	REVISION NUMBER		PARTITION TYPE		ELEVATION
	FINISH — FINISH		CHANGE OF FLOOR FINISH		Section No.
	DATUM ELEVATION		Section No.	Sheet No.	
	MATCH LINE		Top of Wall ±###.#		Section No.
	CENTER LINE		Section No.	Sheet No.	
	BARRIER FREE		Section No.	Sheet No.	
			ENLARGED DETAIL		

ABR.	ABRASIVE	GRND.	GROUND	REINFO.	REINFORCED
ACC.	ACCESS DOOR	GYM.	GYMNASIUM	REINF.	REINFORCEMENT
A.C.	ACCESS PANEL	GYP.	GYPSUM	R.H.	RIGHT HAND
AC.	ACOUSTIC	H.C.	HANDICAP	R.	RISER
A.C.T.	ACOUSTIC TILE	HDW	HARDWARE	R.O.	ROAD
A.C.	AIR CONDITIONING	HDWD.	HARDWOOD	R.D.	ROOM DRAIN
	ALUM. ALUMINUM	HD.	HEAD	RM.	ROOM
A.B.	ANCHOR BOLT	H.V.	HEATING &	R.O.	ROUGH OPENING
<	ANGLE		VENTILATING	SERV.	SERVICE
APT.	APARTMENT	HT.	HEIGHT	SH.	SHEET
APRD.	APPROVED	H.F.	HIGH POINT	SHT.	SHOWER
ARCH.	ARCHITECTURAL	H.F.A.	HIGH PRESSURE	S.O.	SOIL PIPE
A.D.	AREA DRAIN		STEAM	S.	SOUTH
ASB.	ASBESTOS	H.M.	HOLLOW METAL	SPEC.	SPECIFICATIONS
AVE.	AVENUE	HORIZ.	HORIZONTAL	SQR.	SPRINKLER
BSMT.	BASEMENT	H.B.	HORSE BIB	SQ/	SQUARE
B.M.	BENCH MARK	H.OSP.	HOSPITAL	S.S.TL.	STAINLESS STEEL
B.C.	BLOCK	H.W.	HOT WATER	STD.	STANDARD
BD.	BOARD	HR.	HOUR	STL.	STEEL
BOTT.	BOTTOM	I.N."/	INCH	STREET	ST.
B.O.L.	BOTTOM OF LINTEL	INCL.	INCLUSIVE	STRL.	STRUCTURAL
BLVD.	BOULEVARD	I.D.	INSIDE DIAMETER	SUSP.	SUSPENDED
BRK.	BRICK	INSUL.	INSULATED	SW.	SWITCH TEE
BZ.	BRONZE		(INSULATION)	T.	TELEPHONE
BLDG.	BUILDING	INT.	INTERIOR	T.G.L.	TEMPERED GLASS
B.L.	BUILDING LINE	INV.	INVERT	T.C.	TERRA COTTA
B.U.R.	BUILT-UP ROOFING	I.	IRON	TER.	TERRAZZO
CAB.	CABINET	J.C.	JANITORIES CLOSET	THK.	THICK
C.I.	CAST IRON	JT.	JOINT	THRU.	THROUGH
C.B.	CAST STONE	K.	KITCHEN	T.G.	TILE GROOVE & GROOVE
C.S.	CATCH BASIN	K.P.	KLIP PLATE	T.O.	TOP OF
CLG.	CEILING	K.O.	KEY OPERATED	T.G.	TRANSFER GRILLE
C.E.M.	CEMENT & CENTER LINE	LAB.	LABORATORY	TRANS.	TRANSFORMER
		LDG.	LANDING	TR.	TRAIL
C.T.	CERAMIC TILE	LDRY.	LAUNDRY	TYF.	TYPICAL
CH.B.D.	CHALK BOARD	L.T.	LAUNDRY TRAYS	U.H.	UNIT HEATER
CH.	CHANNEL	L.V.	LAVATORY	U.N.O.	UNLESS OTHERWISE
C.O.	CLEAN OUT	LAC.COP.	LEAD COATED		NOTED
CLR.	CLEAR		COPPER	VAR.	VARIABLE
CL.	CLOSET	L.H.	LEFT HAND	V.	VENT
CH.	CEILING HEIGHT	LIB.	LIBRARY	V.P.	VENT PIPE
C.W.	COLD WATER	LT.	LIGHT	V.R.	VENT THRU ROOF
C.O.L.	COLUMN	L.W.C.	LIGHTWEIGHT	V.T.	VERTICAL
CONC.	CONCRETE		CONCRETE	VEST.	VESTIBULE
C.M.U.	CONC. MASONRY UNIT	L.W.I.C.	LIGHTWEIGHT INSULATED	V.T.	VINYL TILE
			CONCRETE	V.A.T.	VIT. VINYL ASBESTOS
CONST.	CONSTRUCTION		MACHINE	V.C.T.	VENT. TILE VINYL COMPOSITE
CONT.	CONTINUOUS	MACH.	MACHINE		
CONTR.	CONTRACTOR	M.H.	MANHOLE		
	(CONTRACT)	MFR.	MANUFACTURER	W.C.T.	WAINSCOT
C.J.	CONTROL JOINT	MARB.	MARBLE	W.B.	WALLBOARD
CONV.	CONVECTOR	M.O.	MASONRY OPENING	W.V.	WALL VENT
COP.	COPPER	MAX.	MAXIMUM	W.C.	WATER CLOSET
CORR.	CORRIDOR	MECH.	MECHANICAL	W.F.	WATERPROOF /
COUNTR.	COUNTER	M.CAB.	MEDICINE CABINET		WATERPROOFING
CRS.	COURSES	M.P.S.	MEDIUM PRESSURE	WT.	WEIGHT
	(MASONRY)		STEAM	W.W.F.	WELDED WIRE FABRIC
DEPT.	DEPARTMENT	MEMB.	MEMBRANE		
DET.	DETAIL	MTL.	METAL	W.	WEST
DIA.	DIAMETER	M.T.	METAL THRESHOLD	WDW.	WINDOW
DM.	DRIVE	M.D.S.	METAL DIVISION	W.G.L.	W/TH GLASS
DIV.	DIVISION		STRIP M. METER	W	WITH
DN.	DOWN	MEZZ.	MEZZANINE	W/O	WITHOUT
D.G.L.	DOUBLE GLASS	MIN.	MINIMUM	WD.	WOOD

R:\2025 Projects\25-104 Estell Manor Atlantic County\AutoCAD\25-104_CS.dwg G1.1

R:\2025 Projects\25-104 Estell Manor Atlantic County\AutoCAD\25-104_CS.dwg G1.3



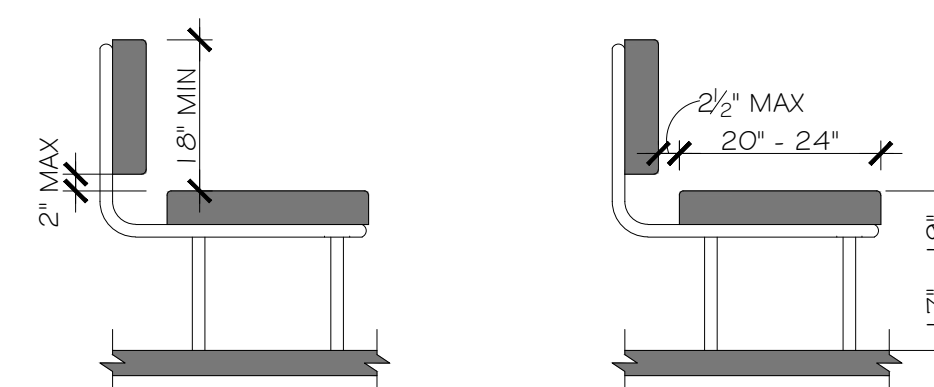
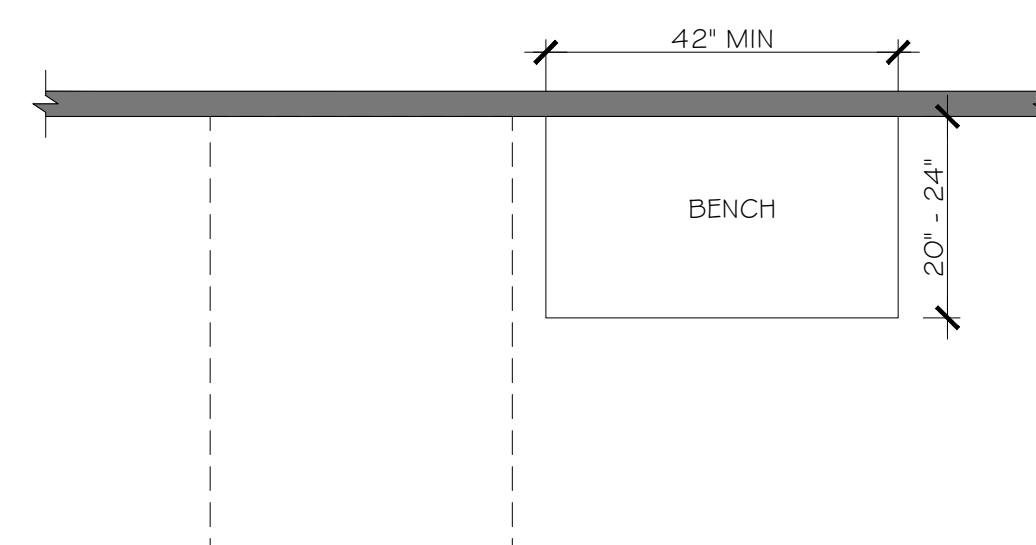
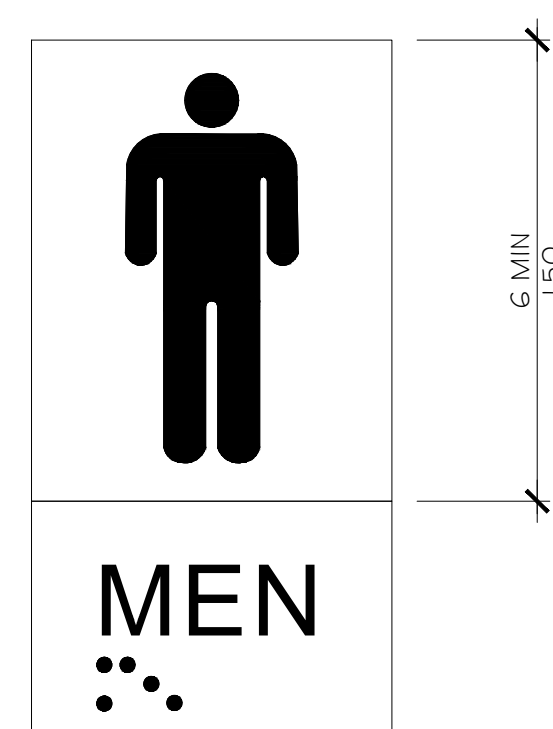
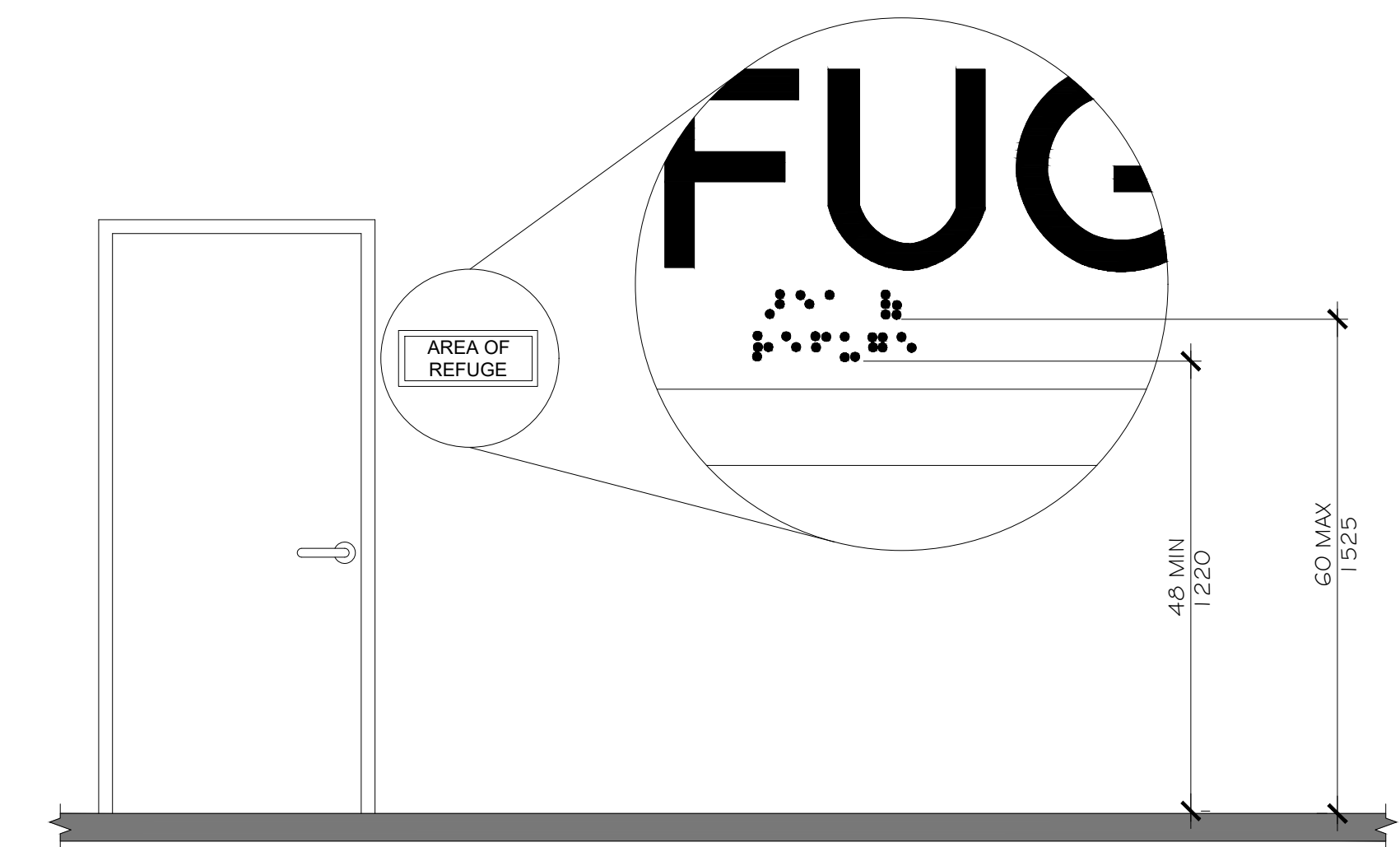
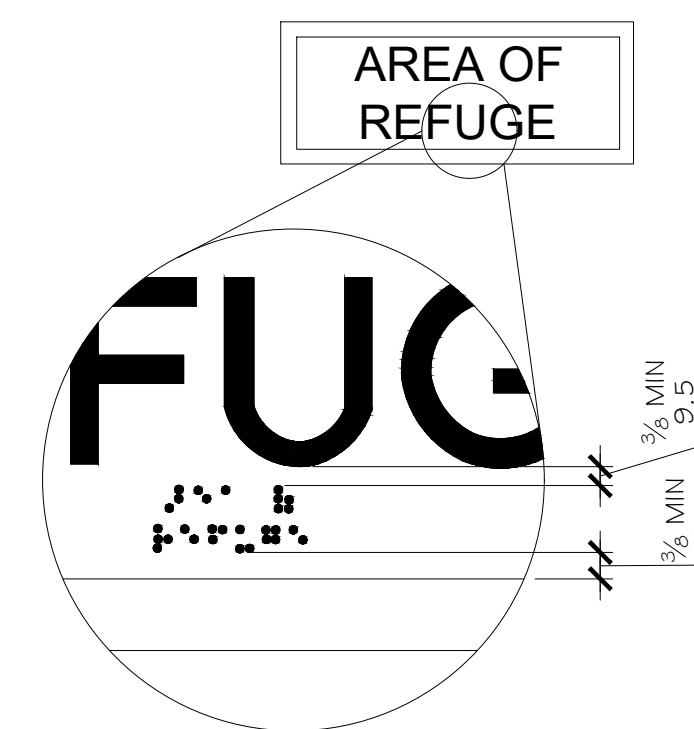
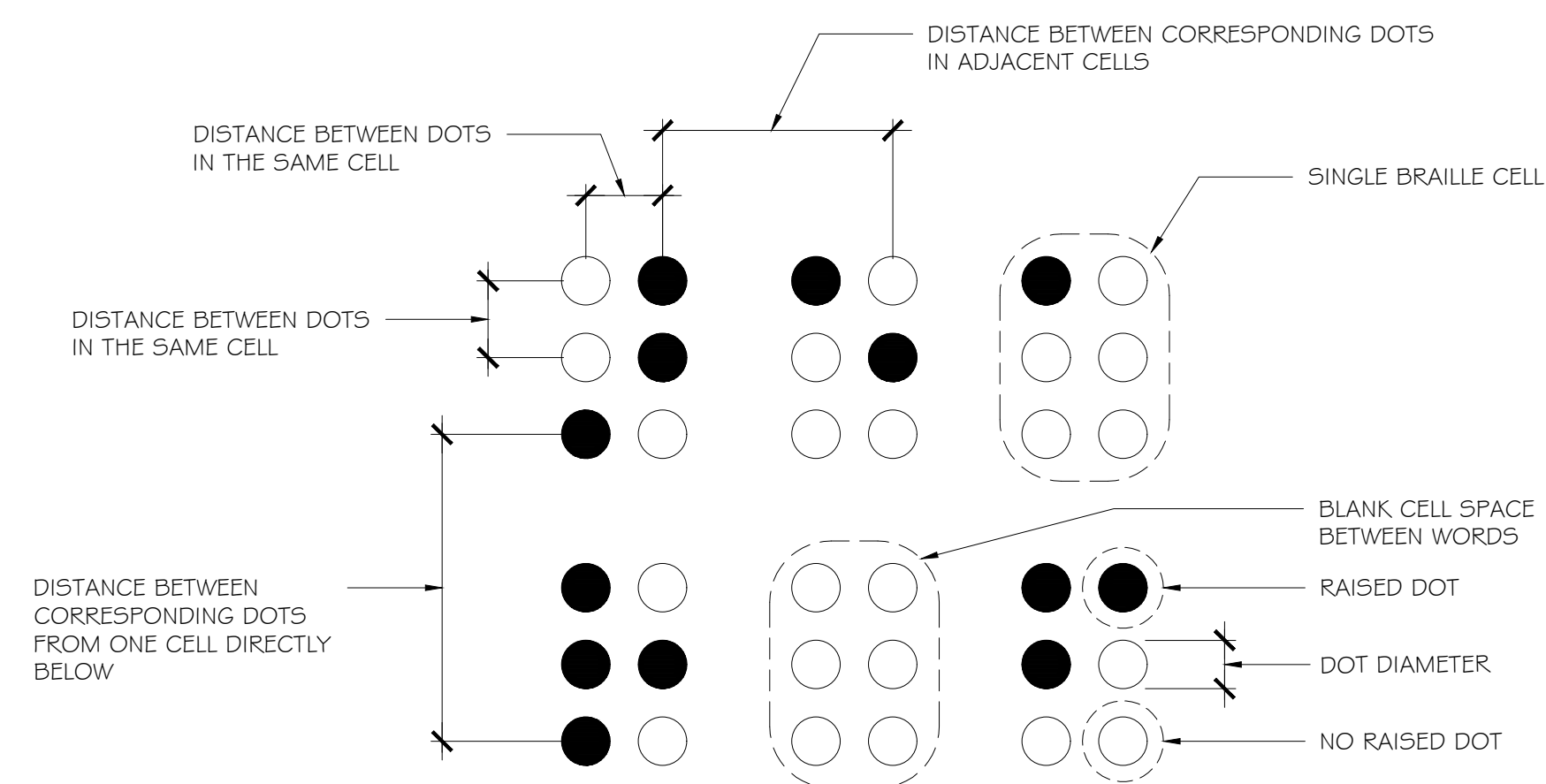
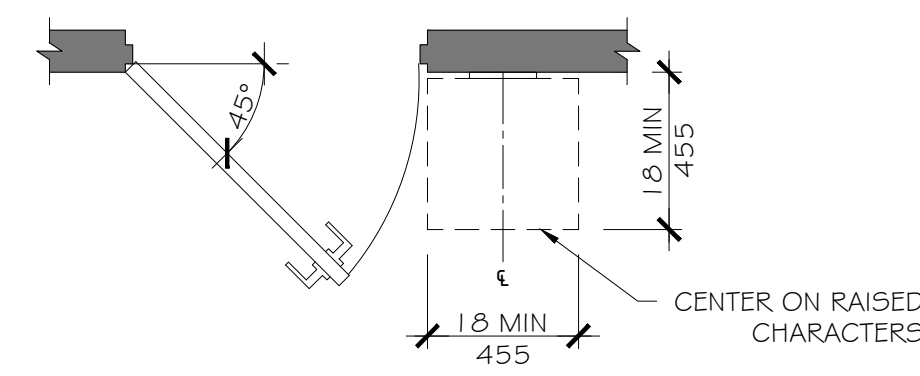
FIGURES NOT DRAWN TO SCALE

ADA FIGURES G 1.3

RZ
REMUS-ZMIJEWSKI ARCHITECTURE
900 Haddon Avenue, Suite 412
Collingswood, NJ, 08108
P: 856-869-4960 F: 856-869-4975
E-Mail: robert@rzallc.com

**ADA FIGURES
FOR
ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51 LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY**

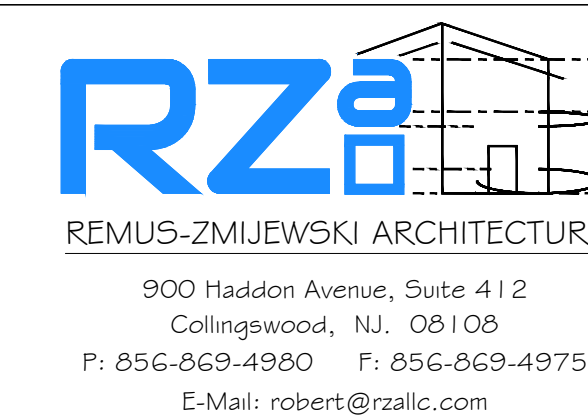
DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 35B1.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: G1.3



FIGURES NOT DRAWN TO SCALE

No.	Date	Revision	Revised By	Checked

SCALE IN FEET



**ADA FIGURES
FOR
ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51 LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY**

DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: A.I.W	CHECKED BY: RZ	FIELD BOOK	SHEET: G14



DEMOLISH EXISTING BATH HOUSE (COMPLETE)

EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

3
D1.0



EXISTING INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

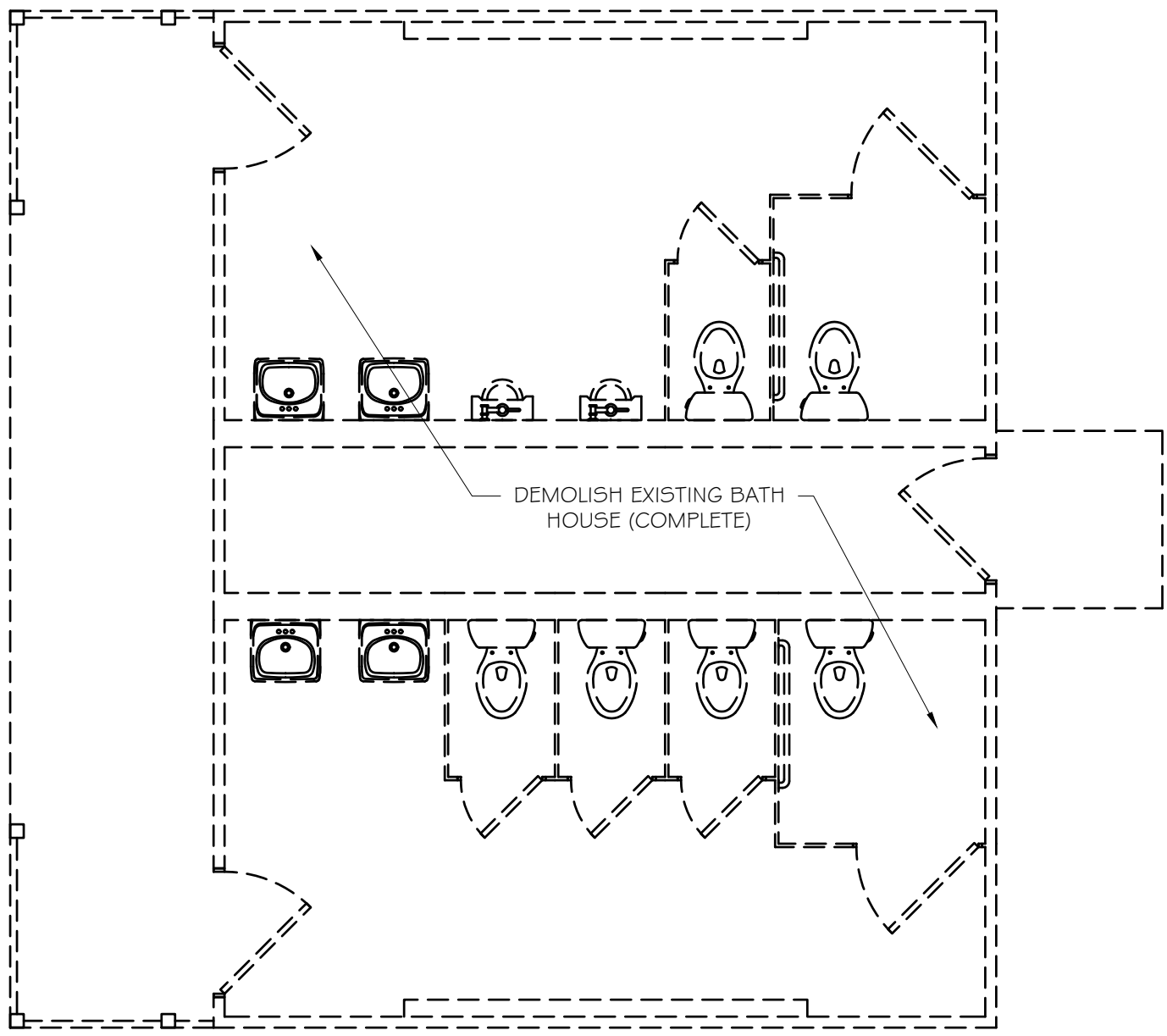
4
D1.0



DEMOLISH EXISTING BATH HOUSE (COMPLETE)

EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

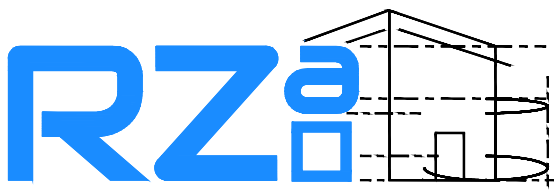
2
D1.0



DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

1
D1.0

No.	Date	Revision	Revised By	Checked By	
SCALE IN FEET					



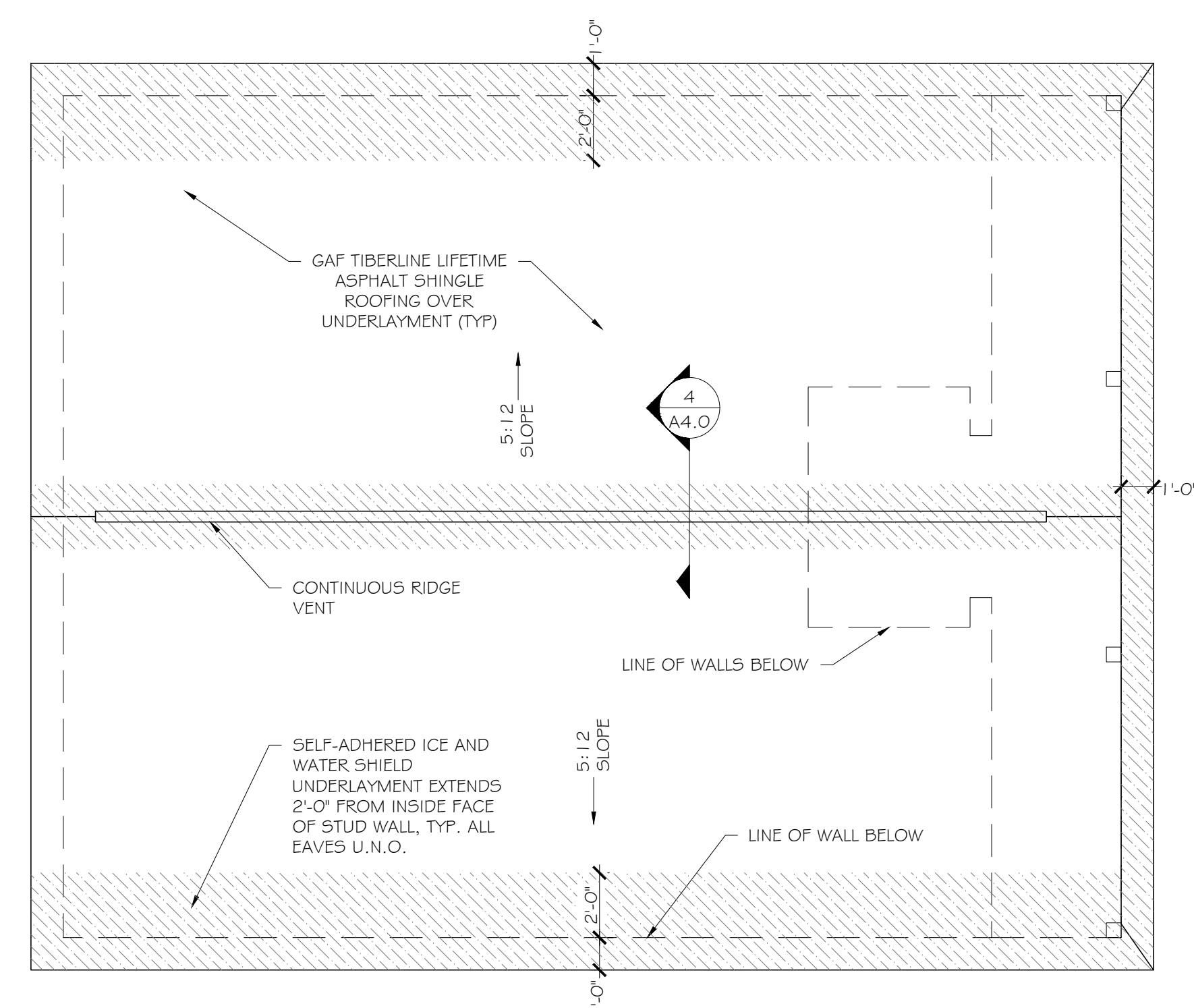
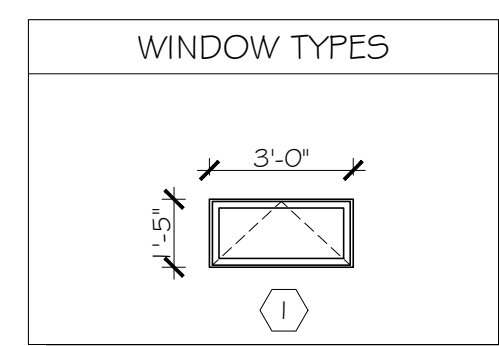
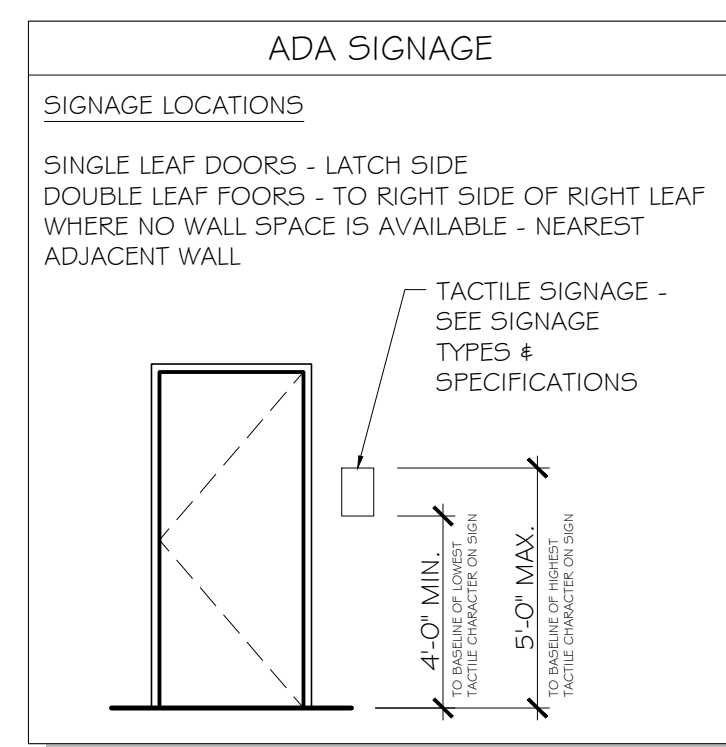
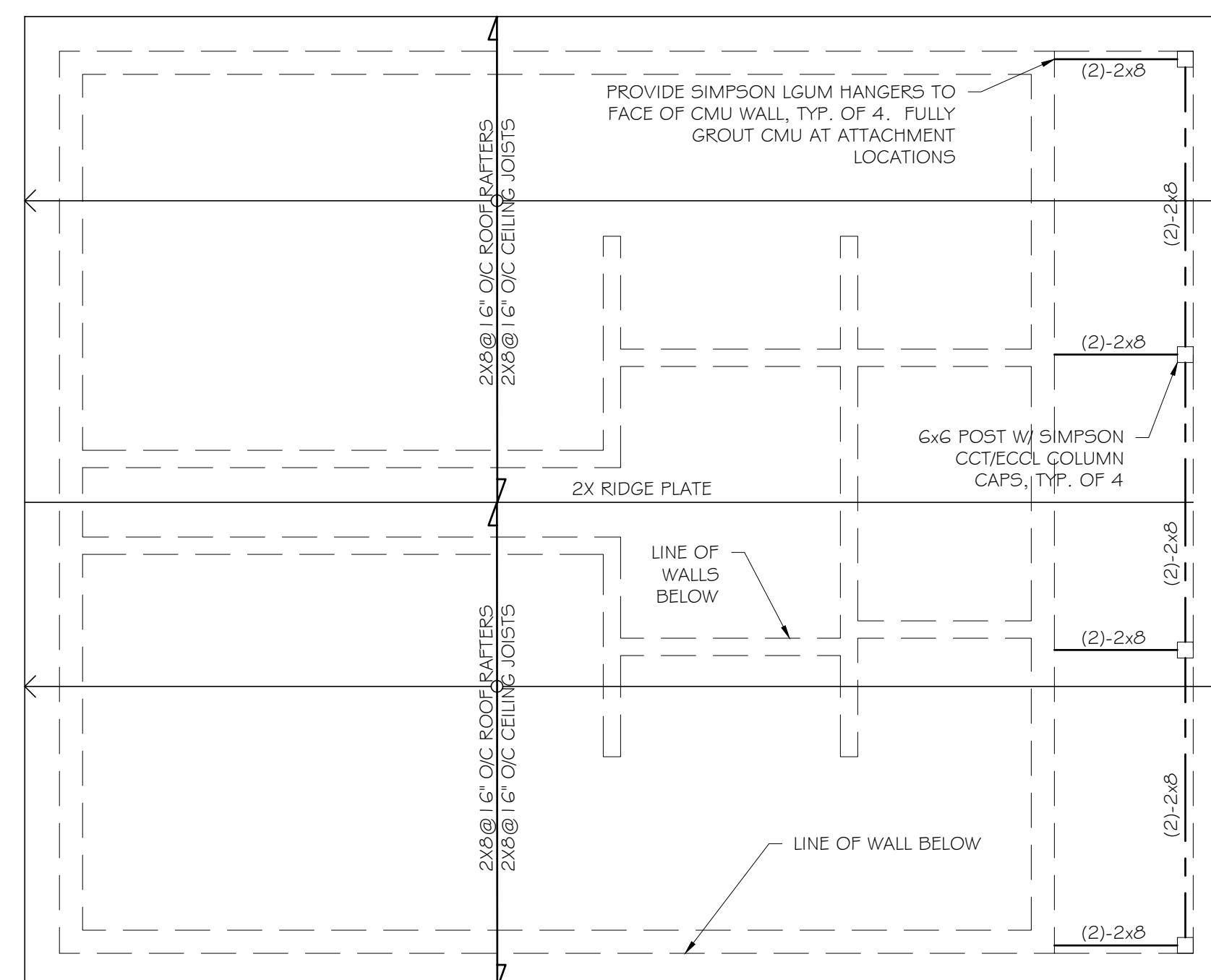
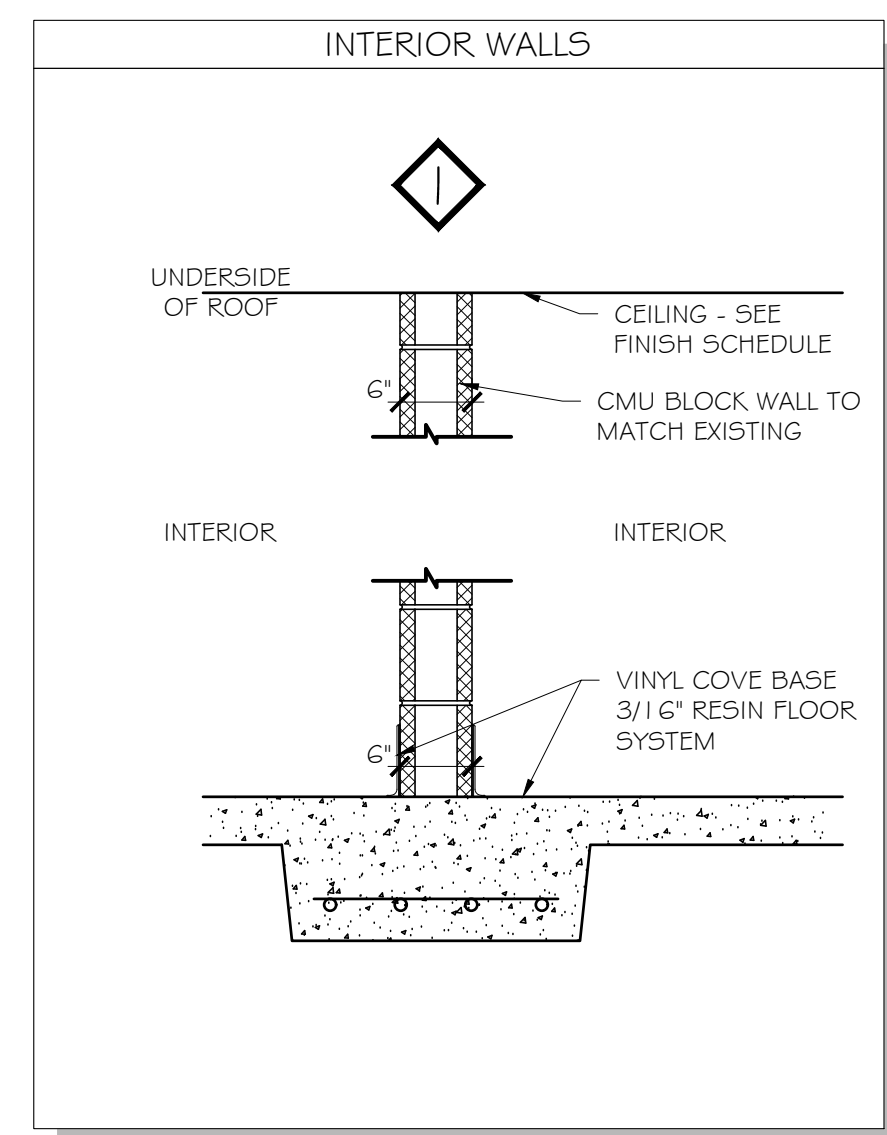
REMUS-ZMIJEWSKI ARCHITECTURE

900 Haddon Avenue, Suite 412
Collingswood, NJ, 08108
P: 856-869-4980 F: 856-869-4975
E-Mail: robert@rzallc.com

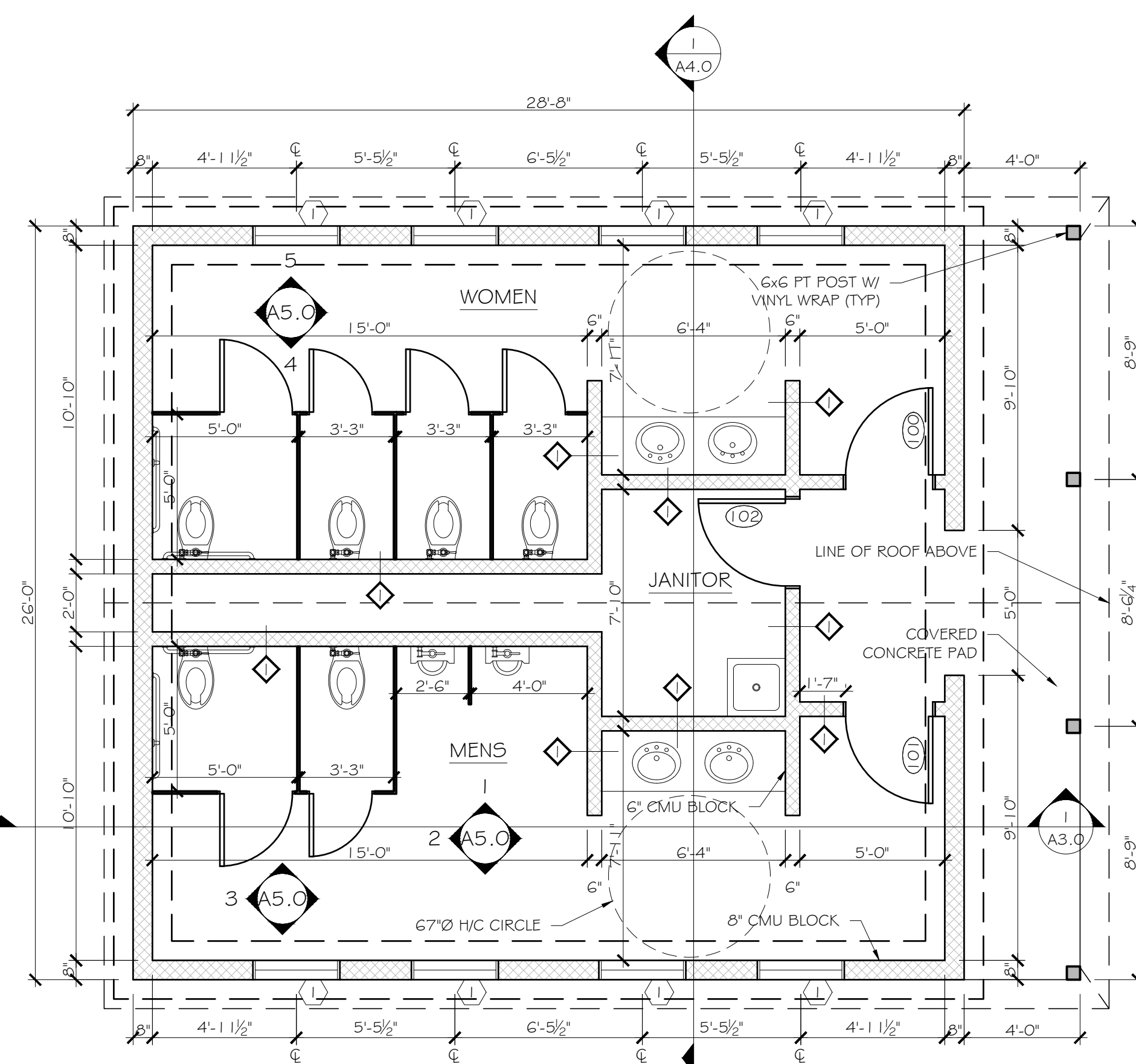
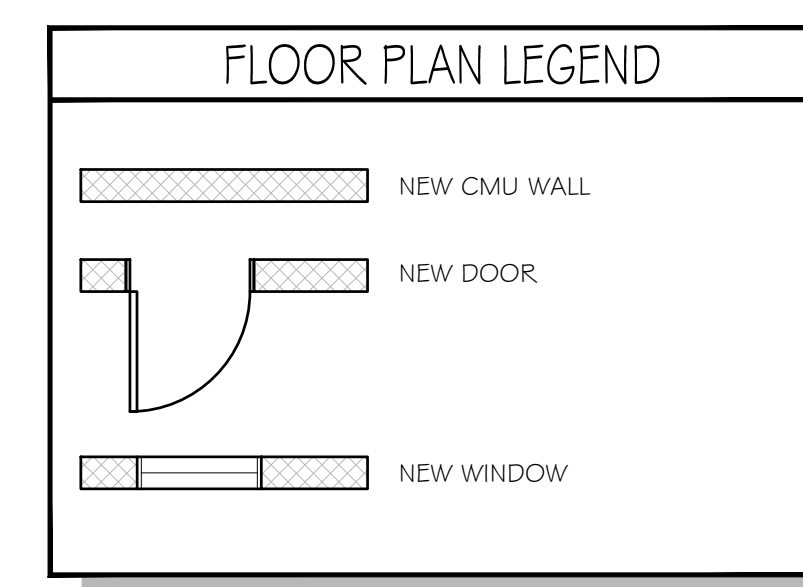
DEMO PLAN
FOR
ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51 LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY

DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: D1.0

NOTE: ALL FRAMES TO BE 16 GAUGE UNLESS OTHERWISE NOTED


$$\frac{3}{Al.O}$$


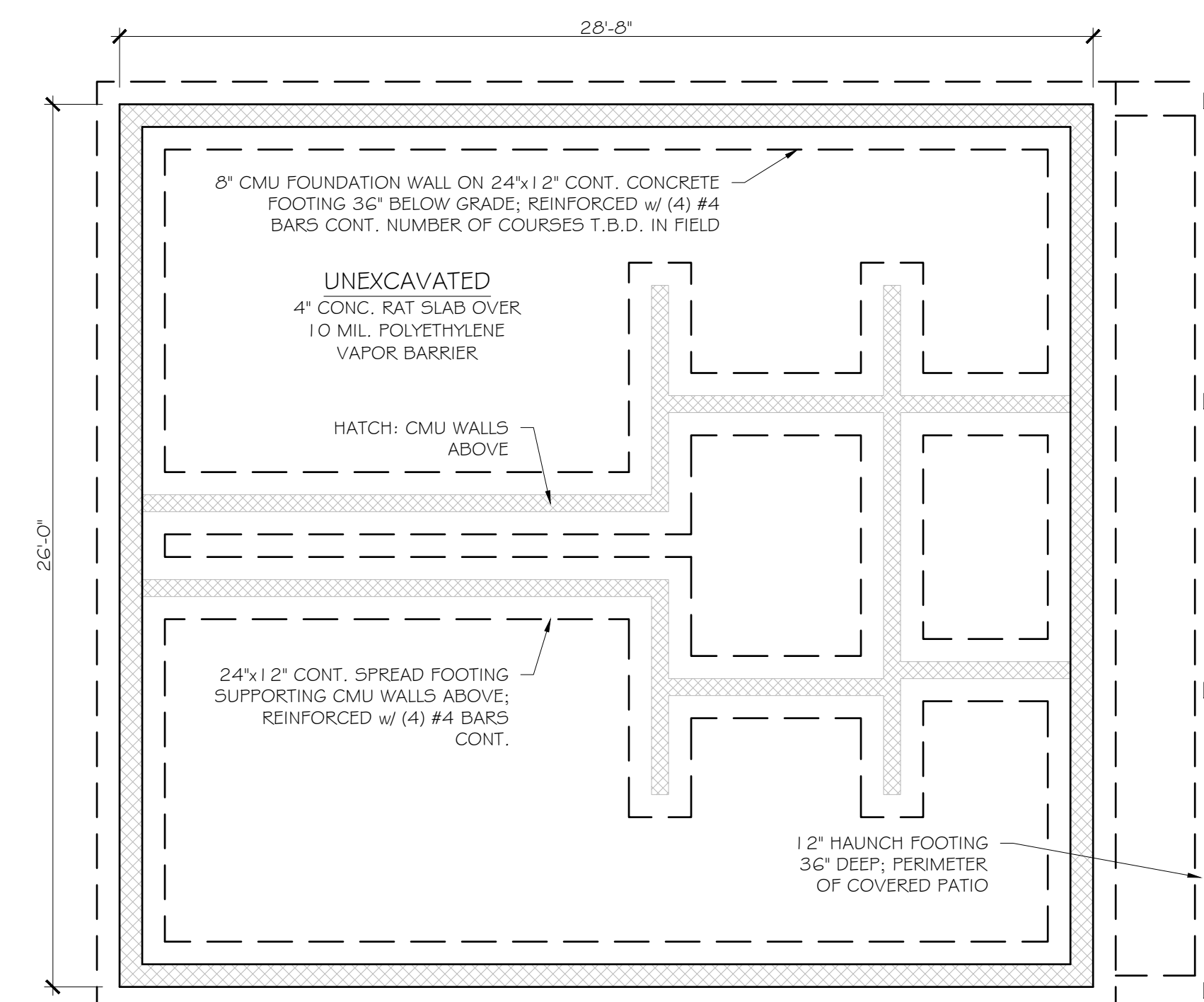
4
A.I.C


$$\frac{2}{Al.O}$$


NOTE: 1. SCHEDULE U5 FOR 8" NOMINAL MASONRY, WITH ACTUAL WIDTH OF PRECAST LINTELS TO BE 7 7/8".
2. FOR 10" NOMINAL MASONRY, ACTUAL WIDTH OF PRECAST LINTELS TO BE 9 7/8".
3. FOR 16" NOMINAL MASONRY, ACTUAL WIDTH OF PRECAST LINTELS TO BE 15 5/8".

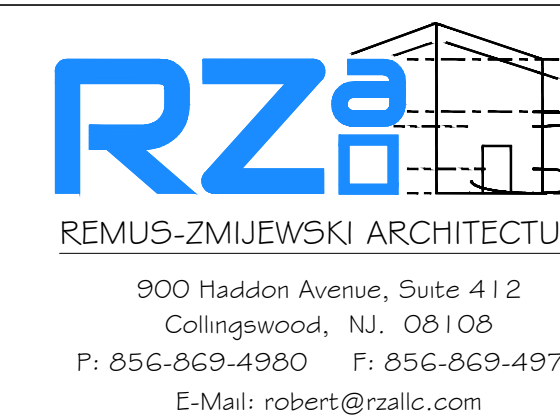
4. ALL WOOD IN CONTACT WITH THE EXTERIOR ELEMENTS OR MASONRY ARE TO BE PRESSURE PRESERVATIVE TREATED AS REQUIRED BY CODE.

1. PROVIDE ICE & WATER SHIELD 1'-6" FROM ALL EAVES, VALLEYS, & RIDGES. INSTALL AS PER MANUF. SPECS.
2. PROVIDE SIMPSON HURRICANE CLIPS MODEL# H2.5A ON EACH RAFTER TYP.
3. PROVIDE ALUMINUM BLIND FLASHING AT ALL 12" VERTICAL ROOF INTERSECTIONS (TYP).
4. PROVIDE 8% BLIND ALUM. STEP FLASHING AT ALL SLOPED/VERTICAL WALL INTERSECTIONS OVER ICE WATER SHIELD MIN. 18" UP WALL.



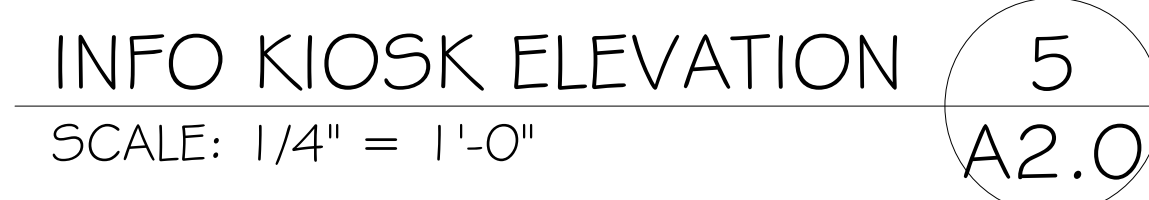
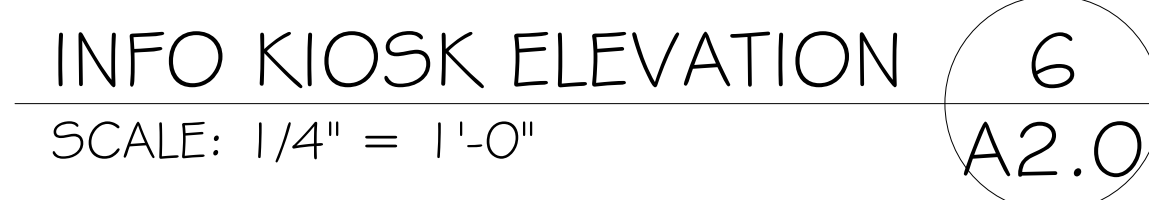
No.	Date	Revision	Revised By	Checked

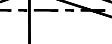
SCALE IN FEET



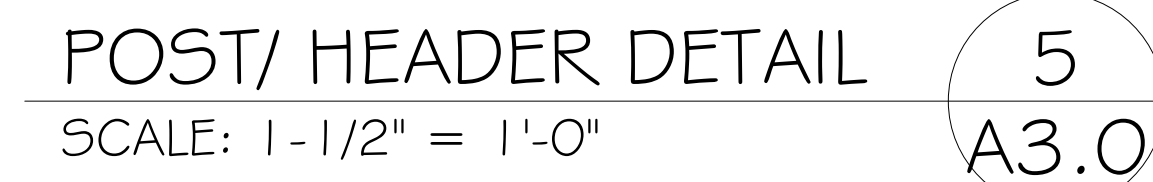
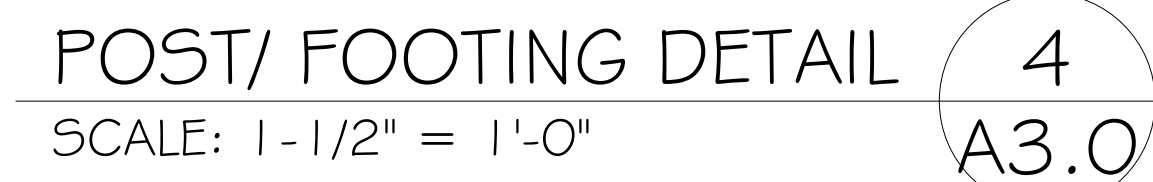
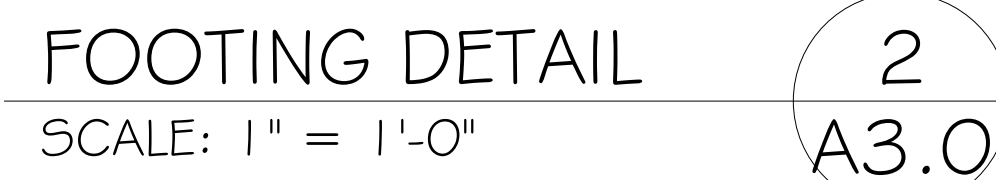
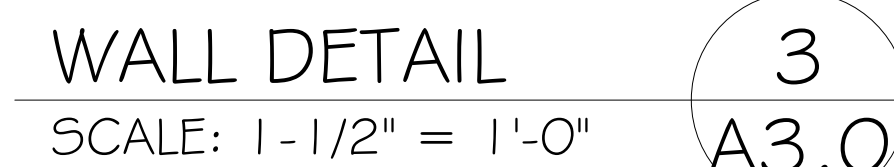
FLOORING & FRAMING PLANS
FOR
ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51 LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY

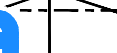
DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: A1.0



RZ 
REMUS-ZMIJEWSKI ARCHITECTURE
 900 Haddon Avenue, Suite 412
 Collingswood, N.J. 08108
 P: 856-869-4980 F: 856-869-4975
 E-Mail: robert@rzallc.com

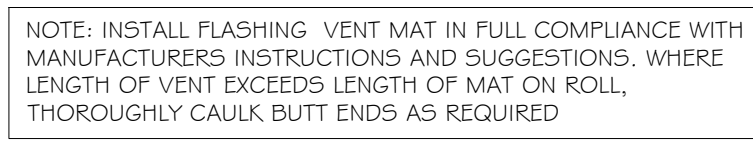
DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: A2.0



RZa 
REMUS-ZMIJEWSKI ARCHITECTURE
 900 Haddon Avenue, Suite 412
 Collingswood, NJ. 08108
 P: 856-869-4980 F: 856-869-4975
 E-Mail: robert@rzallc.com

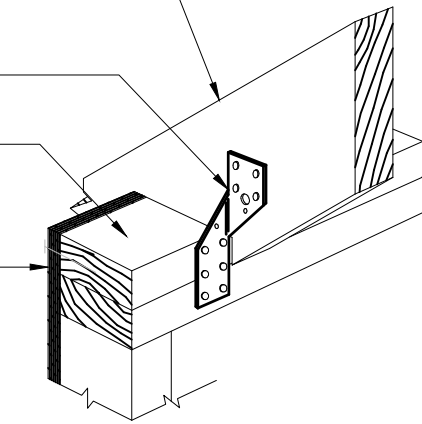
BUILDING SECTIONS & DETAILS
FOR
ESTELL MANOR PARK
BATH HOUSE REPLACEMENT AND
SITE IMPROVEMENTS
AT PICNIC AREA #1
BLOCK 51 LOT 5
ESTELL MANOR
ATLANTIC COUNTY NEW JERSEY

DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: A3.0



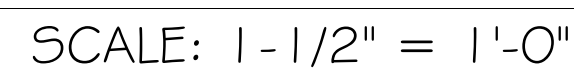
SCALE: 1-1/2" = 1'-0"

4
A4.0

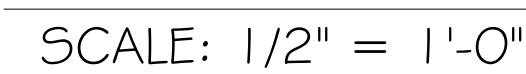


SCALE: 1/4" = 1'-0"

3
A4.0



2
A4.0



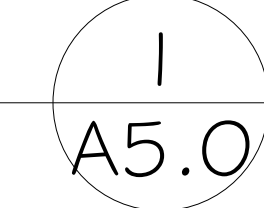
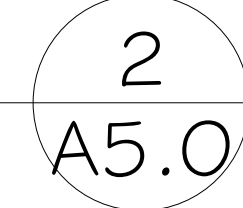
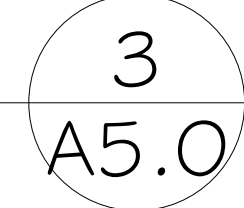
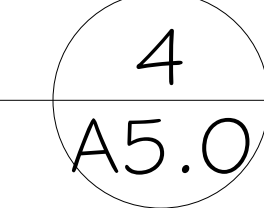
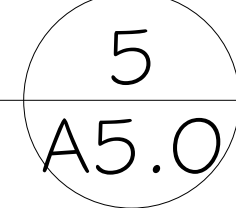
A4.C

No.	Date	Revision	Revised By	Checked By

SCALE IN FEET



DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: A4.0



DATE: 4/2/2026	DESIGNED BY: RZ	SCALE: AS NOTED	PROJECT NUMBER: 3581.027
DRAWN BY: AJW	CHECKED BY: RZ	FIELD BOOK	SHEET: A5.0